

**BASIC PROPERTY & BUILDING INFORMATION:**

**LEGAL DESCRIPTION:** LOTS 350, 351, 352 AND 353, EDGEWATER, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 64, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

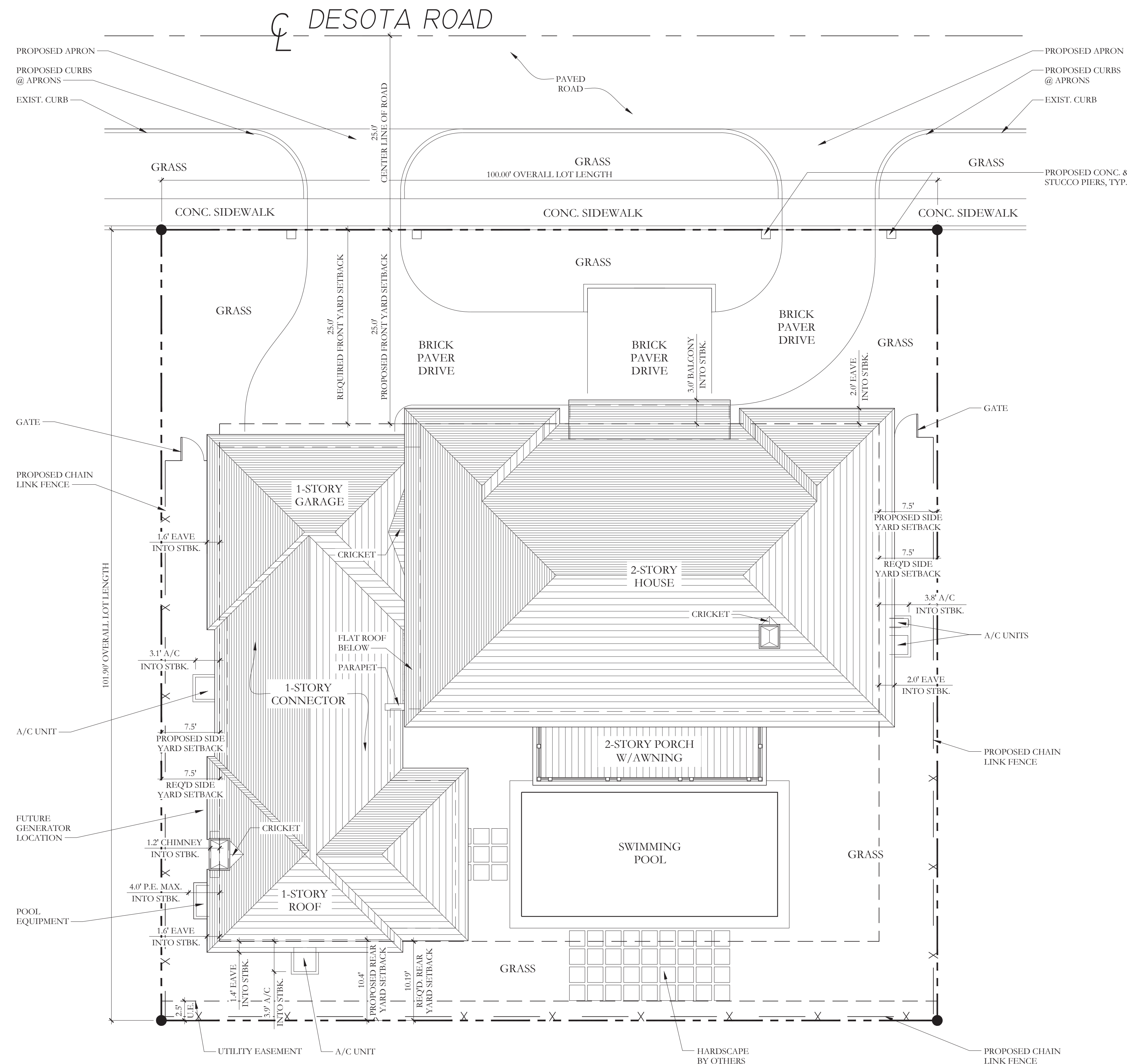
**OCCUPANCY CLASSIFICATION:** RESIDENTIAL GROUP R-3  
 SINCE THIS PROPERTY IS PROPOSED TO HAVE A SINGLE-FAMILY DETACHED RESIDENCE, IT SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, AND ANY OTHER REFERENCED CODES.

**CONSTRUCTION TYPE:** TYPE III-B

**FIRE SPRINKLERS:** NO

ZONING TABULATION:	REQUIRED / EXISTING	PROPOSED
SF7 - SINGLE-FAMILY LOW DENSITY RESIDENTIAL		
LOT AREA	10,190 SQ. FT.	UNCHANGED
LOT WIDTH	100.00'	UNCHANGED
LOT DEPTH	101.90'	UNCHANGED
DENSITY	MAX. 7.26 UNITS PER ACRE	1.00 UNIT
FRONT YARD SETBACK	25.0' MIN.	25.0'
SIDE YARD SETBACK	5.0' MIN., 15.0' TOTAL	15.0' TOTAL (7.5' EA. SIDE)
REAR YARD SETBACK	10.19' (I.E. 10% OF LOT DEPTH OR 15', WHICHEVER IS LESS)	10.4'
MAX. BUILDING HEIGHT:	30'-0", NOT TO EXCEED 2 STORIES	28'-10" (2 STORIES)

BUILDING AREA CALCULATIONS:		
	HVAC & GARAGE	NON-HVAC
FIRST FLOOR		
INTERIOR AREA	3,218 FT <sup>2</sup>	
GARAGE	581 FT <sup>2</sup>	
LOGGIA		262 FT <sup>2</sup>
SECOND FLOOR		
INTERIOR AREA	2,140 FT <sup>2</sup>	341 FT <sup>2</sup>
BALCONIES		
SUBTOTAL	5,939 FT <sup>2</sup>	603 FT <sup>2</sup>
<b>TOTAL AREA:</b>		<b>6,542 FT<sup>2</sup></b>



**1 PROPOSED SITE PLAN**  
 1/8" = 1'-0"

**GENERAL PROJECT NOTES:**

- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND SHALL BECOME FAMILIAR WITH THE SCOPE OF THE PROJECT.
- DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW A COMPLETE WORKING SYSTEM. ITEMS NECESSARY TO COMPLETE THE WORK SHALL BE PROVIDED WHETHER SPECIFICALLY SHOWN OR NOT.
- THE CONTRACTOR SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PERTINENT CODES AND ORDINANCES. THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION, AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (AGI, LATEST EDITION).
- THE CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND/OR OTHER PERMITS AS REQUIRED BY CITY, COUNTY, AND STATE GOVERNMENT AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL PROPER SAFETY BARRICADES, AND POST ALL PROPER NOTICES & SIGNS.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST INTRUSION OF TERMITES, PESTS, VERMIN, AND CRITTERS.
- ALL EFFORT SHALL BE MADE TO MAINTAIN A NEAT AND CLEAN WORK AREA AND CAUSE THE OWNERS AND NEARBY RESIDENTS AS LITTLE INCONVENIENCE AS POSSIBLE.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FROM DUST AND EXCESSIVE NOISE DURING THE CONSTRUCTION PROCESS, AND SHALL LEAVE THE JOBSITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF ALL STRUCTURAL MEMBERS, WALLS, AND NON-STRUCTURAL ITEMS DURING CONSTRUCTION.
- ALL PLUMBING, MECHANICAL, AND ELECTRICAL SHALL COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY EQUIPMENT REQUIREMENTS WITH EQUIPMENT SUPPLIERS, AND SHALL VERIFY EXACT LOCATIONS WITH THE OWNER/ARCHITECT.

\*\*\*SEE "FLOOR PLAN NOTES" ON A-100/ A-101 FOR ADDITIONAL INFORMATION.

PERMIT SET	01/17/2022
PRELIMINARY SET	09/22/2021

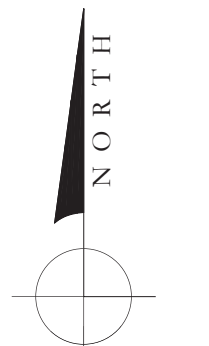
**240 DESOTA ROAD**  
 WEST PALM BEACH, FLORIDA

**SHEET TITLE**  
 PROPOSED SITE PLAN

<b>DATE</b> JAN. 17, 2022	<b>SHEET NO</b> A-001
<b>SCALE</b> AS NOTED	
<b>BY</b> KC, STC	

**FAIRFAX & SAMMONS**  
 NEW YORK - PALM BEACH  
 FAIRFAX, SAMMONS & PARTNERS, LLC.  
 214 BRAZILLIAN AVENUE, PALM BEACH 33480  
 TELEPHONE (888) 808-8881  
 FAIRFAXANDSAMMONS.COM  
 LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.



This form has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
 Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.



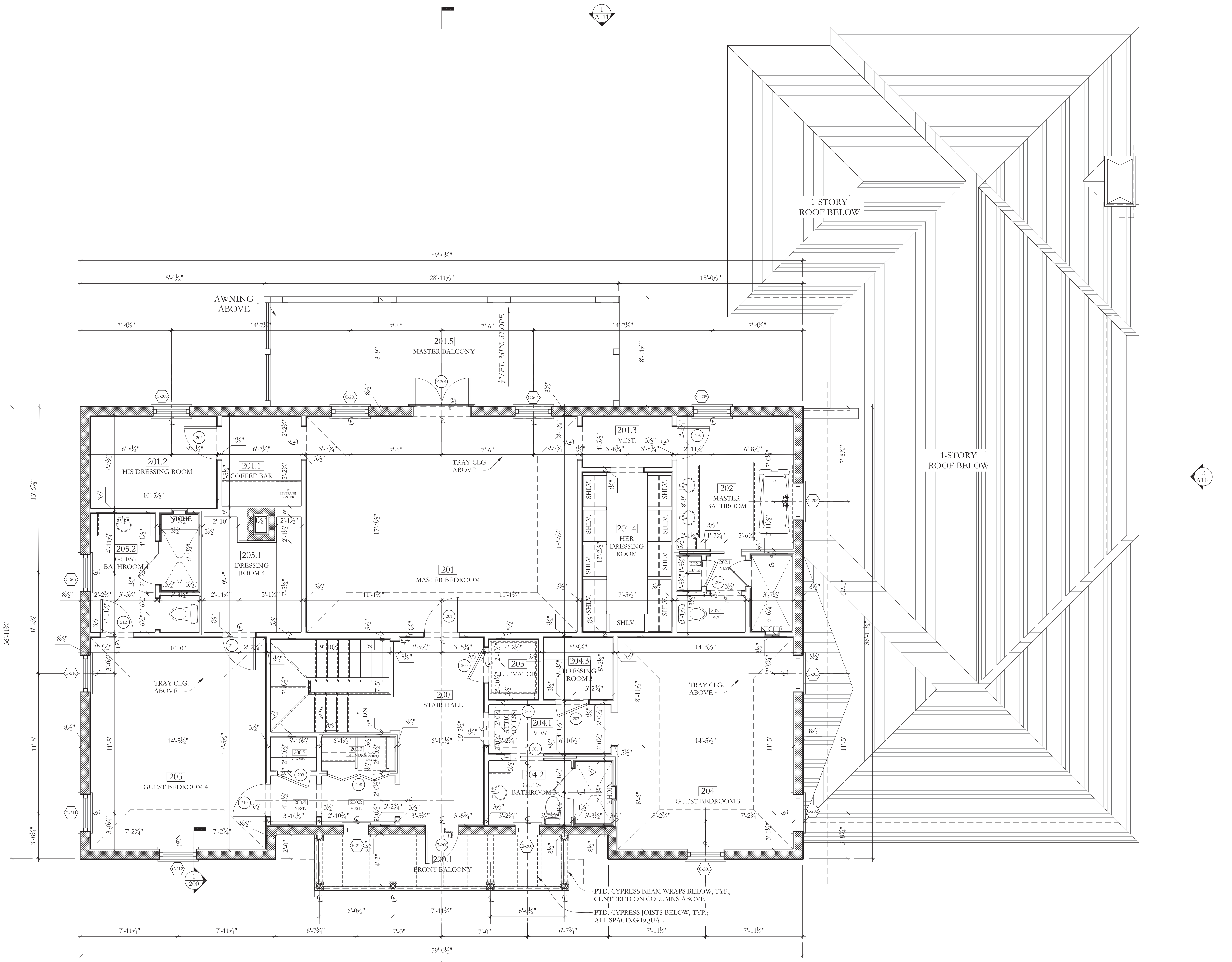
**FLOOR PLAN NOTES:**

\*\*\*SEE "GENERAL PROJECT NOTES" ON A-001 FOR ADDITIONAL INFORMATION.

1. DIMENSIONS SHOWN ON FLOOR PLANS ARE ROUGH-TO-ROUGH (I.E. STUD-TO-BLOCK) OR TO CENTERLINE, U.O.N. DO NOT SCALE OFF OF DRAWINGS.
2. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED.
3. R-11 BATT INSULATION SHALL BE PROVIDED AT ALL BATHROOM & LAUNDRY WALLS, FLOORS, AND CEILINGS FOR SOUND PROOFING.
4. ALL STONE COUNTER TOPS AND TILE SELECTIONS SHALL BE APPROVED BY OWNER/DECORATOR.
5. ALL G.W.B. WALLS SHALL HAVE A LEVEL 5 FINISH.
6. ALL TRIM (CROWN MOULDINGS, BASE BOARDS, CASINGS, ETC.) AND CABINETRY SHALL BE PAINT GRADE WOOD, UNLESS SPECIFIED OTHERWISE BY OWNER/DECORATOR.
7. ALL PLUMBING FIXTURES & FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
8. ALL DECORATIVE LIGHTING FIXTURES SHALL BE APPROVED BY OWNER/DECORATOR.
9. ALL INTERIOR FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
10. SHOP DRAWINGS FOR ALL CABINETRY, DOORS & WINDOWS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT.

**WALL TYPE LEGEND:**

- STEEL COLUMNS
- ▨ MASONRY WALLS
- ▤ PARTITION WALLS
- ▥ PARTITION WALLS W/ R-11 BATT INSULATION (SEE NOTE #10 ABOVE)



**1 SECOND FLOOR PLAN**  
1/4" = 1'-0"

PERMIT SET 01/17/2022  
PRELIMINARY SET 09/22/2021

**240 DESOTA ROAD**  
WEST PALM BEACH, FLORIDA

SHEET TITLE  
**SECOND FLOOR PLAN**

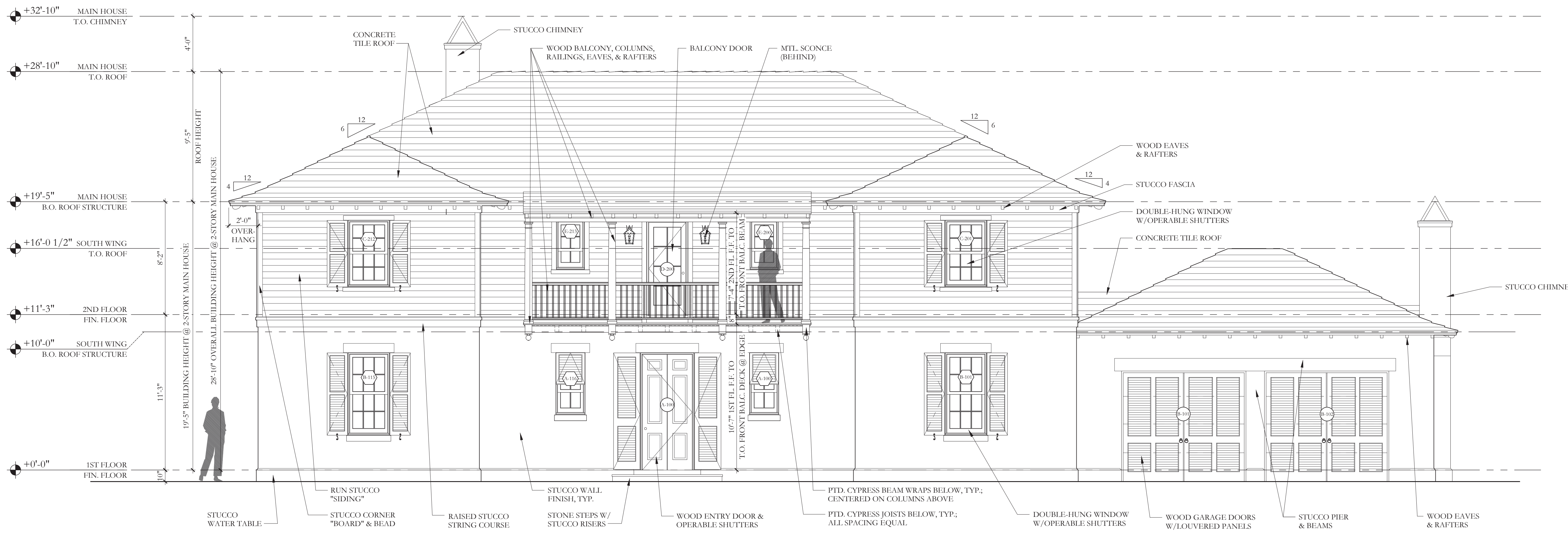
DATE JAN. 17, 2022 SHEET NO  
SCALE 1/4" = 1'-0" **A-101**  
BY KC, STC

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILLIAN AVENUE, PALM BEACH 33460  
TELEPHONE (861) 608-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA28000848

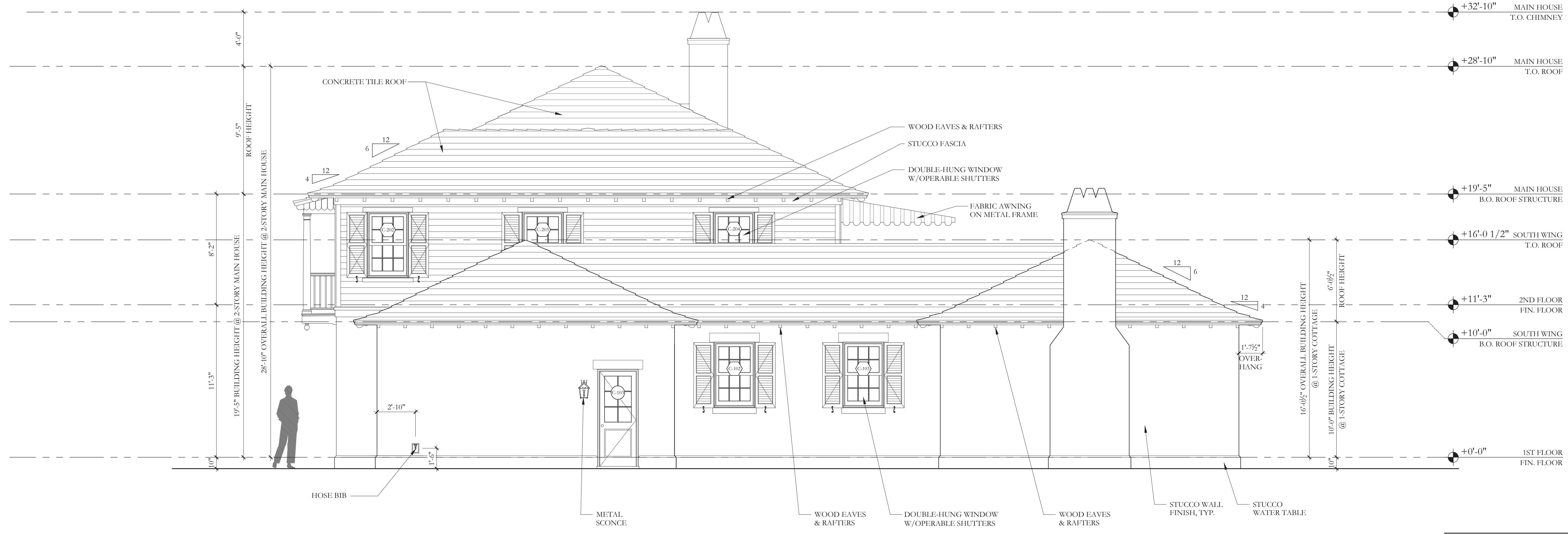


This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



1 NORTH ELEVATION  
1/4"=1'-0"



2 WEST ELEVATION  
1/4"=1'-0"

PERMIT SET 01/17/2022  
PRELIMINARY SET 09/22/2021

240 DESOTA ROAD  
WEST PALM BEACH, FLORIDA

SHEET TITLE  
NORTH & WEST ELEVATIONS

DATE JAN. 17, 2022  
SCALE AS NOTED  
BY MC, KC, STC

SHEET NO  
A-110

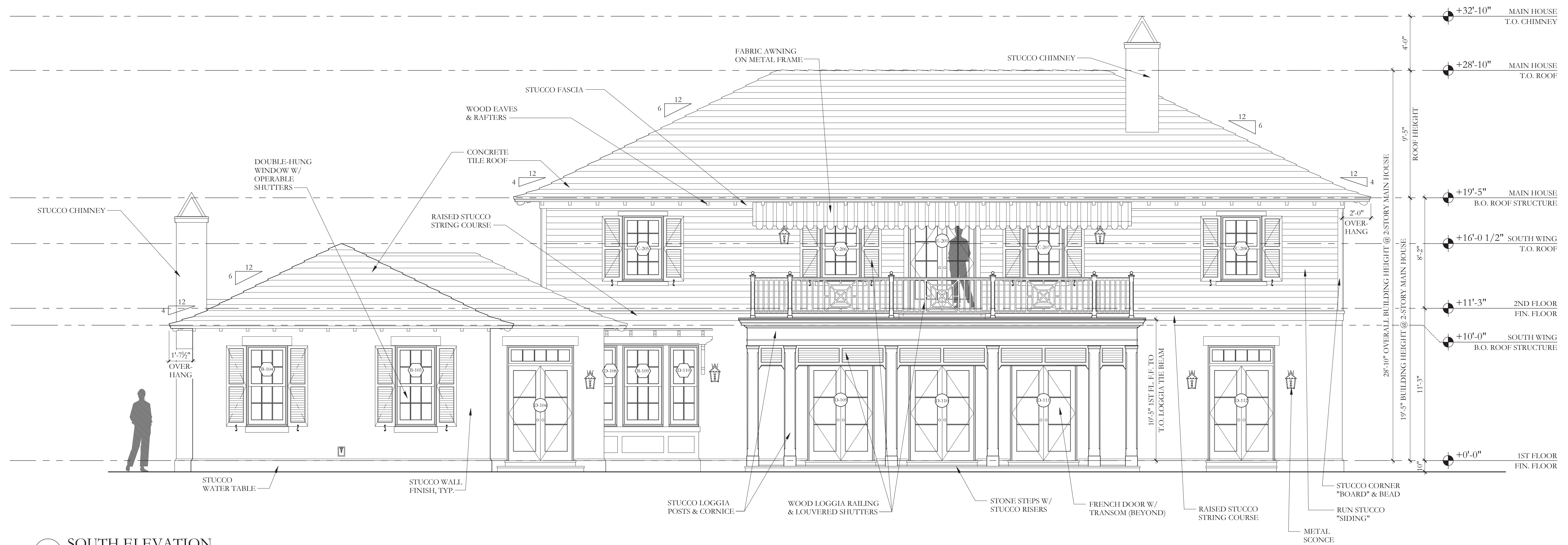


**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, LLC.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 908-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA28000848

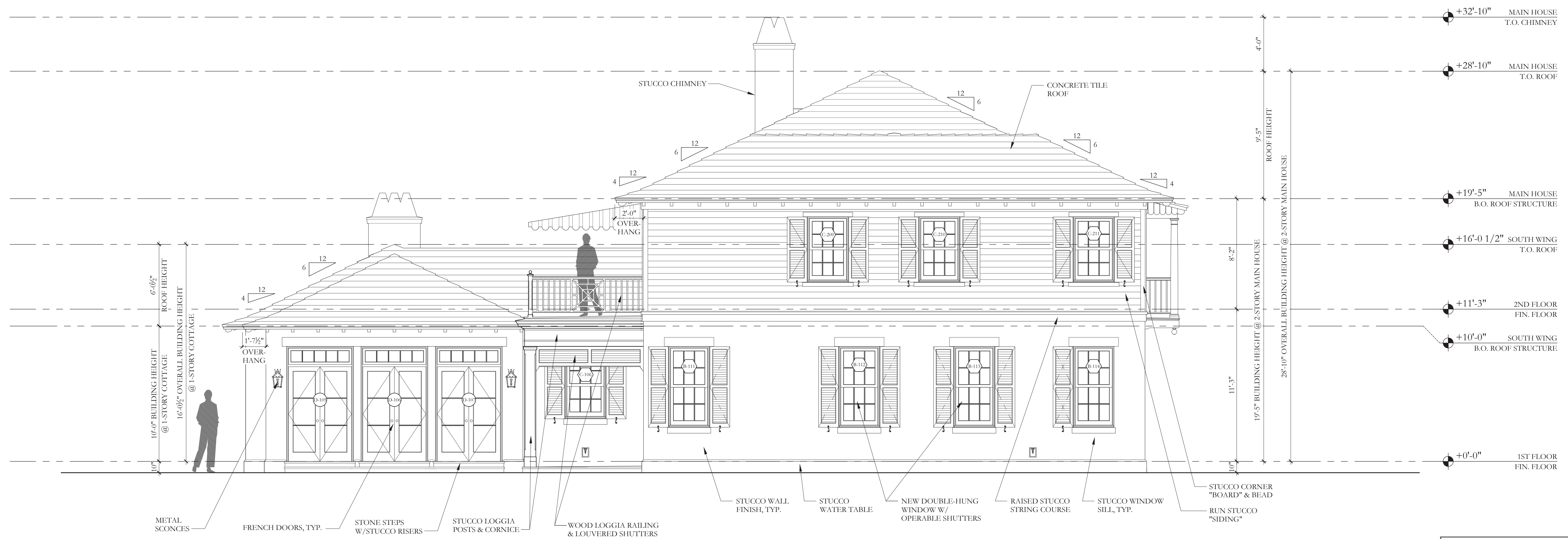


This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



1 SOUTH ELEVATION  
1/4"=1'-0"



2 EAST ELEVATION  
1/4"=1'-0"

PERMIT SET 01/17/2022  
PRELIMINARY SET 09/22/2021

240 DESOTA ROAD  
WEST PALM BEACH, FLORIDA

SHEET TITLE  
SOUTH & EAST ELEVATIONS

DATE JAN. 17, 2022 SHEET NO  
SCALE AS NOTED A-111  
BY MC, KC, STC

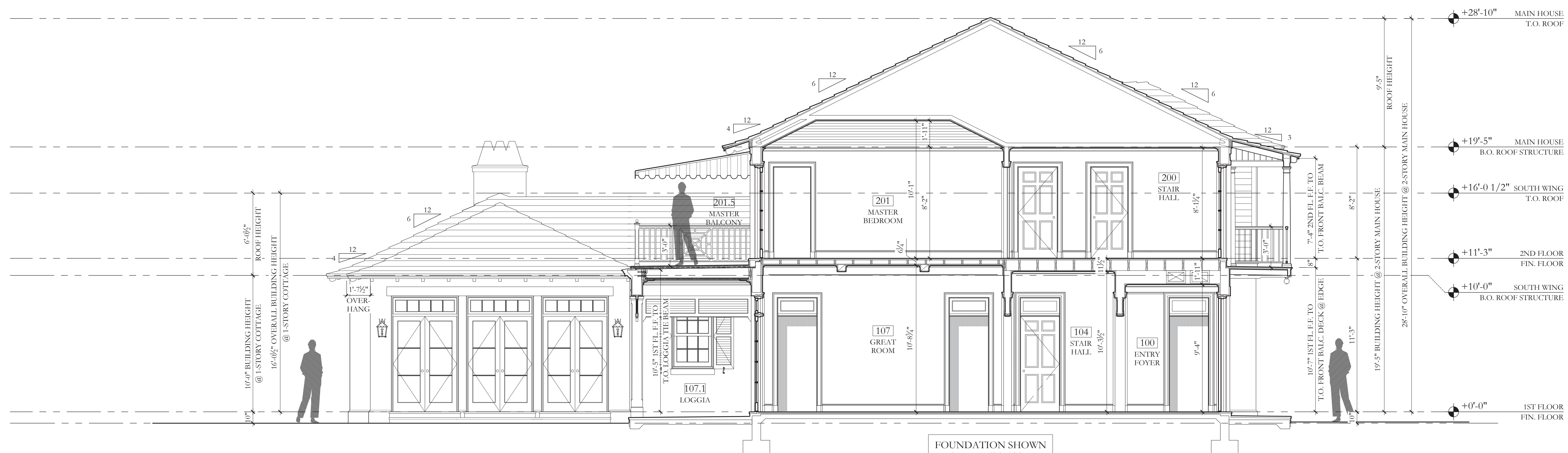


**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, LLC.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 858-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA28000848



This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



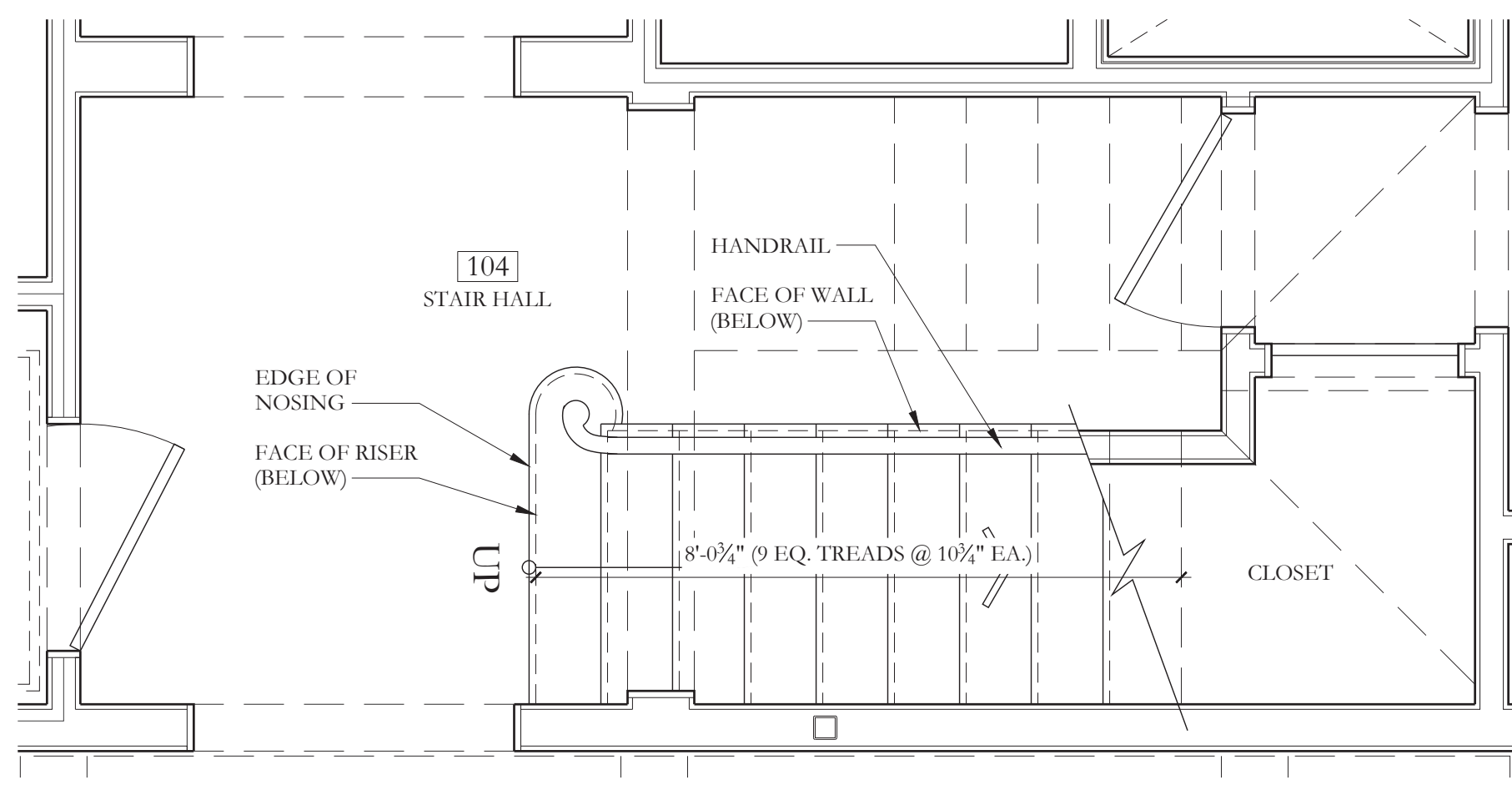
1 BUILDING SECTION, LOOKING WEST  
1/4"=1'-0"

FOUNDATION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

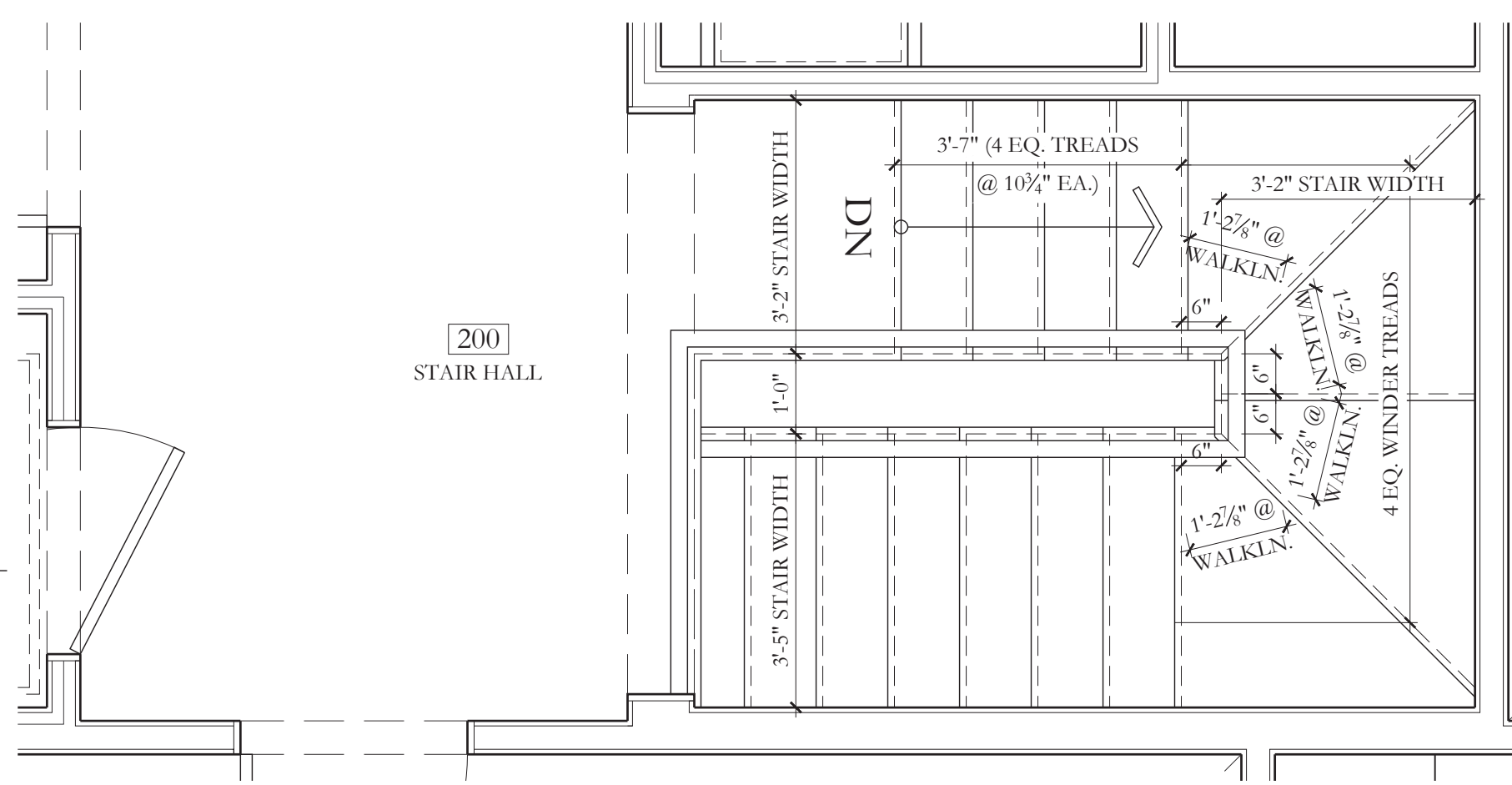


2 104/200 STAIR HALL SECTION, LOOKING NORTH  
1/2"=1'-0"

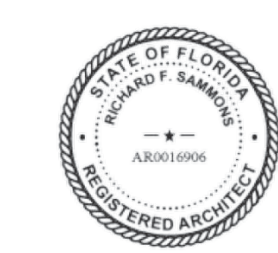
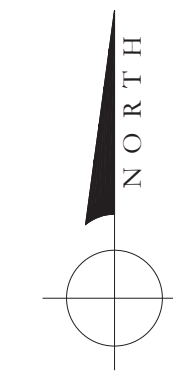
NOTE: HANDRAILS TO BE TYPE 1, AND TO COMPLY WITH R311.7.8.3



3 104 STAIR HALL PLAN (1ST FL.)  
1/2"=1'-0"



4 200 STAIR HALL PLAN (2ND FL.)  
1/2"=1'-0"



This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

PERMIT SET 01/17/2022  
PRELIMINARY SET 09/22/2021

240 DESOTA ROAD  
WEST PALM BEACH, FLORIDA

SHEET TITLE  
BUILDING SECTIONS

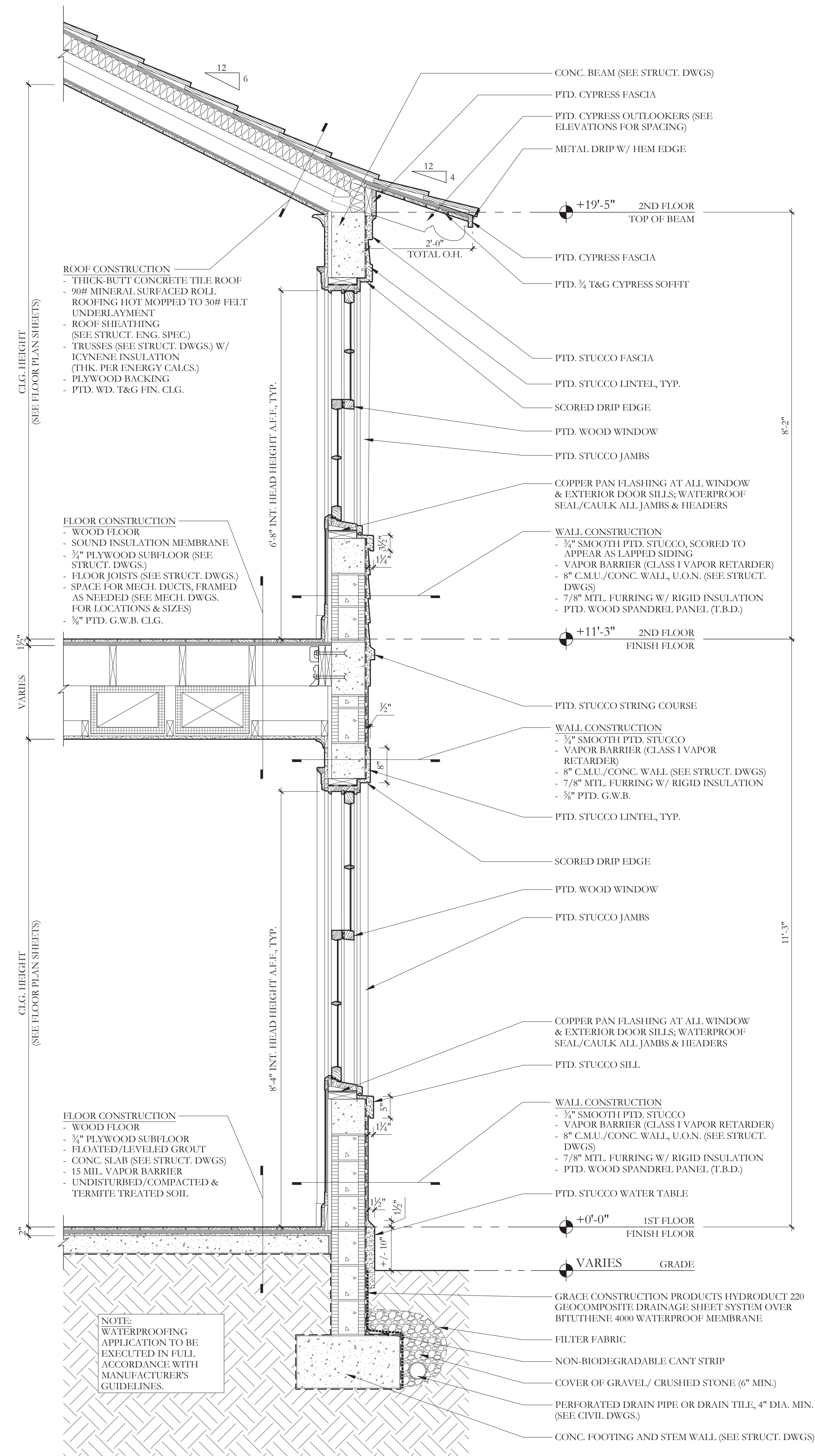
DATE JAN. 17, 2022  
SCALE AS NOTED  
BY JHS, CG, STC

SHEET NO  
A-112

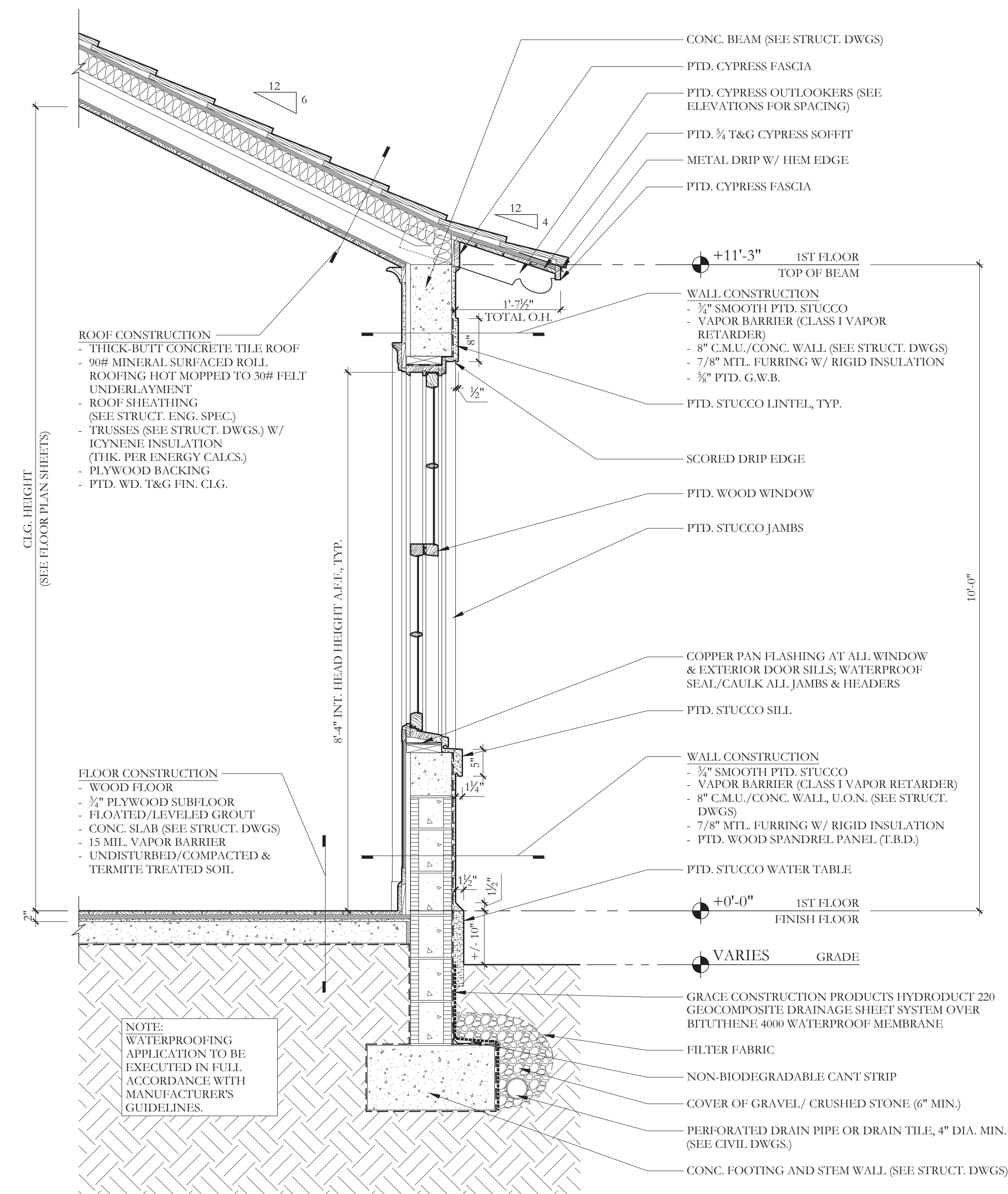


**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 808-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA2000048

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS OR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



1 TYP. 2-STORY EXTERIOR WALL SECTION  
3/4"=1'-0"



2 TYP. 1-STORY EXTERIOR WALL SECTION  
3/4"=1'-0"

PERMIT SET 01/17/2022  
PRELIMINARY SET 09/22/2021

240 DESOTA ROAD  
WEST PALM BEACH, FLORIDA

SHEET TITLE  
EXTERIOR DOOR & WINDOW  
SCHEDULES; WALL SECTION

DATE  
JAN. 17, 2022  
SCALE  
AS NOTED  
BY  
STC

SHEET NO  
A-200



DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022, FAIRFAX & SAMMONS ARCHITECTS PC

This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.  
Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

EXTERIOR DOOR SCHEDULE											
#	TYPE	LOCATION	# OF LEAVES	EXTR. STUCCO FIN. OPNG.			MAT.	FINISH	LITES	REMARKS	#
				WIDTH	HEIGHT, A.F.F.	OPERABLE HEAD HT., INT. (A.F.F.)					
100	A	100 ENTRY FOYER	1	3'-10"	8'-6"	-	WD	STAIN		SINGLE INSWING DOOR	100
109	B	114 GARAGE	1	9'-0"	8'-0"	-	WD	PAINT	-	FIN. WD. CLADDING ON STANDARD FLAT-PANEL SECTIONAL GARAGE DOOR	109
110	B	114 GARAGE	1	9'-0"	8'-0"	-	WD	PAINT	-	FIN. WD. CLADDING ON STANDARD FLAT-PANEL SECTIONAL GARAGE DOOR	110
117	C	114 GARAGE	1	3'-0"	7'-2"	-	WD/ GL	PAINT	6	SINGLE OUTSWING	117
117	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	117
117	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	117
117	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	117
117	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	117
117	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	117
107	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	107
107	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	107
107	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	107
108	D	108 LIBRARY	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	108
200	E	200 STAIR HALL	1	3'-0"	6'-10"	6'-8"	WD/ GL	PAINT	8	SINGLE OUTSWING	200
201	D	201 MASTER BEDROOM	2	5'-0"	6'-10"	6'-8"	WD/ GL	PAINT	8/LEAF	DOUBLE FRENCH OUTSWING	201

### EXTERIOR DOOR NOTES:

- EXTERIOR DOORS SHALL BE WOOD UNITS WITH CLEAR GLAZING, PAINTED FINISH (INT. & EXT.), BE IMPACT RATED, AND COMPLY WITH ALL CURRENT LOCAL CODE REQUIREMENTS.
- SAMPLE(S) TO BE APPROVED BY ARCHITECT.
- ALL DOORS SHALL RECEIVE TEMPORARY LEVERS AND HINGES. FINAL LEVERS AND HINGES SHALL BE SHIPPED LOOSE.
- CONTRACTOR SHALL VERIFY DOOR OPENINGS BEFORE DOOR SHOP DRAWINGS ARE SUBMITTED TO ARCHITECT.**
- CONTRACTOR SHALL SUBMIT DOOR AND FIXED UNIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURING DOORS.
- ALL DOOR UNITS TO BE PROPERLY WATERPROOFED AND CAULKED ON ALL SIDES.
- ALL OUT-SWINGING DOORS TO HAVE NON-REMOVABLE PINS.
- ALL DOORS SHALL HAVE BRASS THRESHOLDS SET IN SEALANT.
- ALL EXTERIOR DOORS AND FIXED UNITS TO HAVE A STONE SILL SET IN A COPPER PAN FLASHING.
- FINISH HARDWARE SHALL BE SELECTED BY OR APPROVED BY THE OWNER OR THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE TO THE ARCHITECT A CERTIFICATE INDICATING TEMPERED GLASS IN LIEU OF ETCHED STENCIL ON THE GLASS.
- ALL EXTERIOR DOORS TO BE MANUFACTURED BY **(T.B.D.)**.

WINDOW SCHEDULE										
#	TYPE	LOCATION	EXTR. STUCCO FIN. OPNG.			MAT.	FINISH	LITES	REMARKS	#
			WIDTH	HEIGHT	HT., A.F.F.					
101	A - DBL HUNG	101 VESTIBULE	2'-1 1/2"	4'-6 1/4"	8'-6"	WD/ GL	PAINT	4/2		101
109	B - DBL HUNG	109 GUEST BEDROOM 2	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		109
113	C - DBL HUNG	113 LAUNDRY	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		113
115	C - DBL HUNG	115 KITCHEN	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		115
116	B - DBL HUNG	116 FAMILY ROOM	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		116
116	B - DBL HUNG	116 FAMILY ROOM	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		116
115	C - DBL HUNG	115 KITCHEN	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		115
111	C - DBL HUNG	111 VESTIBULE	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		111
111	D - DBL HUNG	111 WET BAR	2'-2 1/2"	6'-0"	8'-6"	WD/ GL	PAINT	4/4		111
111	C - DBL HUNG	111 WET BAR	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		111
111	D - DBL HUNG	111 WET BAR	2'-2 1/2"	6'-0"	8'-6"	WD/ GL	PAINT	4/4		111
108	B - DBL HUNG	108 LIBRARY	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		108
108	B - DBL HUNG	108 LIBRARY	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		108
105	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		105
105	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		105
105	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		105
106	A - DBL HUNG	106 GUEST BATHROOM 1	2'-1 1/2"	4'-6 1/4"	8'-6"	WD/ GL	PAINT	4/2		106
204.2	E - DBL HUNG	204.2 GUEST BATHROOM 3	2'-1 1/2"	3'-8"	6'-10"	WD/ GL	PAINT	4/2		204.2
204	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		204
204	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		204
204	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		204
202	C - DBL HUNG	202 MASTER BATHROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		202
202	C - DBL HUNG	202 MASTER BATHROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		202
201	C - DBL HUNG	201 MASTER BEDROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		201
201	C - DBL HUNG	201 MASTER BEDROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		201
201.2	C - DBL HUNG	201.2 HIS DRESSING ROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		201.2
205.2	C - DBL HUNG	205.2 GUEST BATHROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		205.2
205	C - DBL HUNG	205 GUEST BEDROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		205
205	C - DBL HUNG	205 GUEST BEDROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		205
205	C - DBL HUNG	205 GUEST BEDROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		205
200	E - DBL HUNG	200.2 VESTIBULE	2'-1 1/2"	3'-8"	6'-10"	WD/ GL	PAINT	4/2		200

### WINDOW NOTES:

- WINDOWS SHALL BE WOOD UNITS WITH CLEAR GLAZING, PAINTED FINISH (INT. & EXT.), BE IMPACT RATED, AND COMPLY WITH ALL CURRENT LOCAL CODE REQUIREMENTS.
- SAMPLE(S) TO BE APPROVED BY ARCHITECT.
- ALL WINDOWS SHALL RECEIVE TEMPORARY LEVERS AND HINGES. FINAL LEVER AND HINGES SHALL BE SHIPPED LOOSE.
- CONTRACTOR SHALL VERIFY WINDOW OPENINGS BEFORE WINDOW SHOP DRAWINGS ARE SUBMITTED TO ARCHITECT.**
- CONTRACTOR SHALL SUBMIT WINDOW SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURING WINDOWS.
- ALL WINDOW UNITS TO BE PROPERLY WATERPROOFED AND CAULKED ON ALL SIDES.
- ALL WINDOW UNITS TO BE SET IN A COPPER PAN FLASHING WITH A MESH.
- FINISH HARDWARE SHALL BE SELECTED BY OR APPROVED BY THE OWNER OR THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE TO THE ARCHITECT A CERTIFICATE INDICATING TEMPERED GLASS IN LIEU OF ETCHED STENCIL ON THE GLASS.
- ALL EXTERIOR WINDOWS TO BE MANUFACTURED BY **(T.B.D.)**.

PERMIT SET	01/17/2022
PRELIMINARY SET	09/22/2021

240 DESOTA ROAD  
WEST PALM BEACH, FLORIDA

**SHEET TITLE**  
EXTERIOR DOOR & WINDOW SCHEDULES

<b>DATE</b> JAN. 17, 2022	<b>SHEET NO</b>
<b>SCALE</b> AS NOTED	A-220
<b>BY</b> STC, AS	



This item has been electronically signed and sealed by Richard F. Sammons using a SHA-1 authentication code.

Printed copies of the document are not considered signed and sealed and all SHA-1 authentication code must be verified on any electronic copies.

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2022 FAIRFAX & SAMMONS ARCHITECTS PC