

BASIC PROPERTY & BUILDING INFORMATION:

LEGAL DESCRIPTION: LOT 19, MIRAMAR SHORES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 81, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

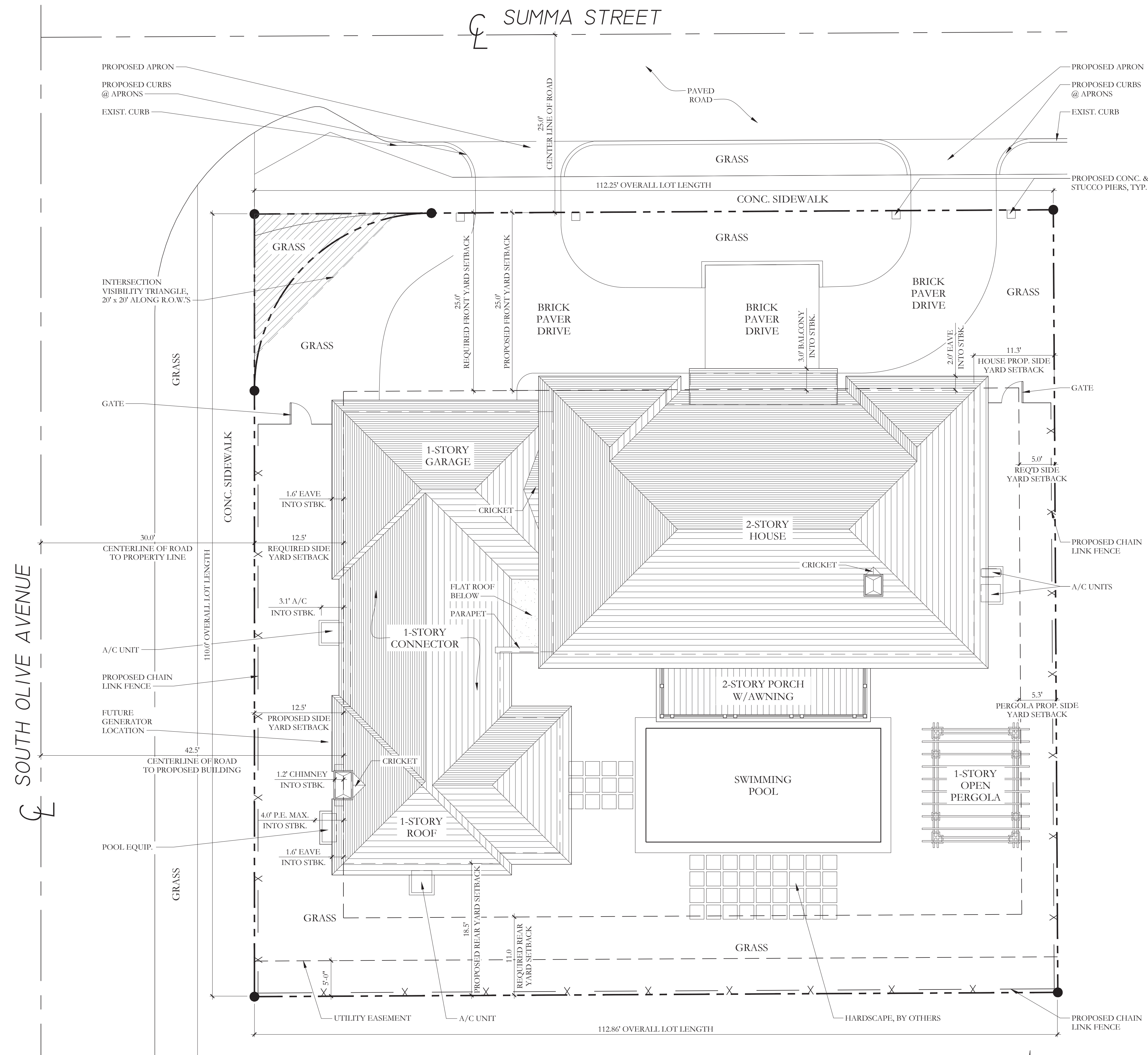
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
SINCE THIS PROPERTY IS PROPOSED TO HAVE A SINGLE-FAMILY DETACHED RESIDENCE, IT SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE - RESIDENTIAL, AND ANY OTHER REFERENCED CODES.

CONSTRUCTION TYPE: TYPE III-B

FIRE SPRINKLERS: NO

ZONING TABULATION:	REQUIRED / EXISTING	PROPOSED
SF7 - SINGLE-FAMILY LOW DENSITY RESIDENTIAL		
LOT AREA	12,347.5 SQ. FT.	UNCHANGED
LOT WIDTH	112.86'	UNCHANGED
LOT DEPTH	110.00'	UNCHANGED
DENSITY	MAX. 7.26 UNITS PER ACRE	1.00 UNIT
FRONT YARD SETBACK	25.0' MIN.	25.0'
STREET SIDE YARD SETBACK (WEST)	12.5' MIN.	12.5' (23.8" TOTAL)
SIDE YARD SETBACK (EAST)	5.0' MIN.	11.3' (23.8" TOTAL)
REAR YARD SETBACK	11.0' (I.E. 10% OF LOT DEPTH OR 15', WHICHEVER IS LESS)	18.5'
MAX. BUILDING HEIGHT:	30'-0", NOT TO EXCEED 2 STORIES	28'-10" (2 STORIES)

BUILDING AREA CALCULATIONS:		
	HVAC & GARAGE	NON-HVAC
FIRST FLOOR		
INTERIOR AREA	3,260 FT ²	
GARAGE	645 FT ²	
LOGGIA		262 FT ²
DINING PAVILION		197 FT ²
SECOND FLOOR		
INTERIOR AREA	2,140 FT ²	
BALCONIES		341 FT ²
SUBTOTAL	6,045 FT²	800 FT²
TOTAL AREA:	6,845 FT²	



1 PROPOSED SITE PLAN
1/8" = 1'-0"

GENERAL PROJECT NOTES:

- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND SHALL BECOME FAMILIAR WITH THE SCOPE OF THE PROJECT.
- DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW A COMPLETE WORKING SYSTEM. ITEMS NECESSARY TO COMPLETE THE WORK SHALL BE PROVIDED WHETHER SPECIFICALLY SHOWN OR NOT.
- THE CONTRACTOR SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PERTINENT CODES AND ORDINANCES. THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION, AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI, LATEST EDITION).
- THE CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND/OR OTHER PERMITS AS REQUIRED BY CITY, COUNTY, AND STATE GOVERNMENT AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL PROPER SAFETY BARRICADES, AND POST ALL PROPER NOTICES & SIGNS.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST INTRUSION OF TERMITES, PESTS, VERMIN, AND CRITTERS.
- ALL EFFORT SHALL BE MADE TO MAINTAIN A NEAT AND CLEAN WORK AREA AND CAUSE THE OWNERS AND NEARBY RESIDENTS AS LITTLE INCONVENIENCE AS POSSIBLE.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FROM DUST AND EXCESSIVE NOISE DURING THE CONSTRUCTION PROCESS, AND SHALL LEAVE THE JOBSITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF ALL STRUCTURAL MEMBERS, WALLS, AND NON-STRUCTURAL ITEMS DURING CONSTRUCTION.
- ALL PLUMBING, MECHANICAL, AND ELECTRICAL SHALL COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY EQUIPMENT REQUIREMENTS WITH EQUIPMENT SUPPLIERS, AND SHALL VERIFY EXACT LOCATIONS WITH THE OWNER/ARCHITECT.

**SEE "FLOOR PLAN NOTES" ON A-100/ A-101 FOR ADDITIONAL INFORMATION.

PERMIT SET 01/17/2022
PRELIMINARY SET 09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED SITE PLAN

DATE JAN. 17, 2022
SCALE AS NOTED
BY KC, STC

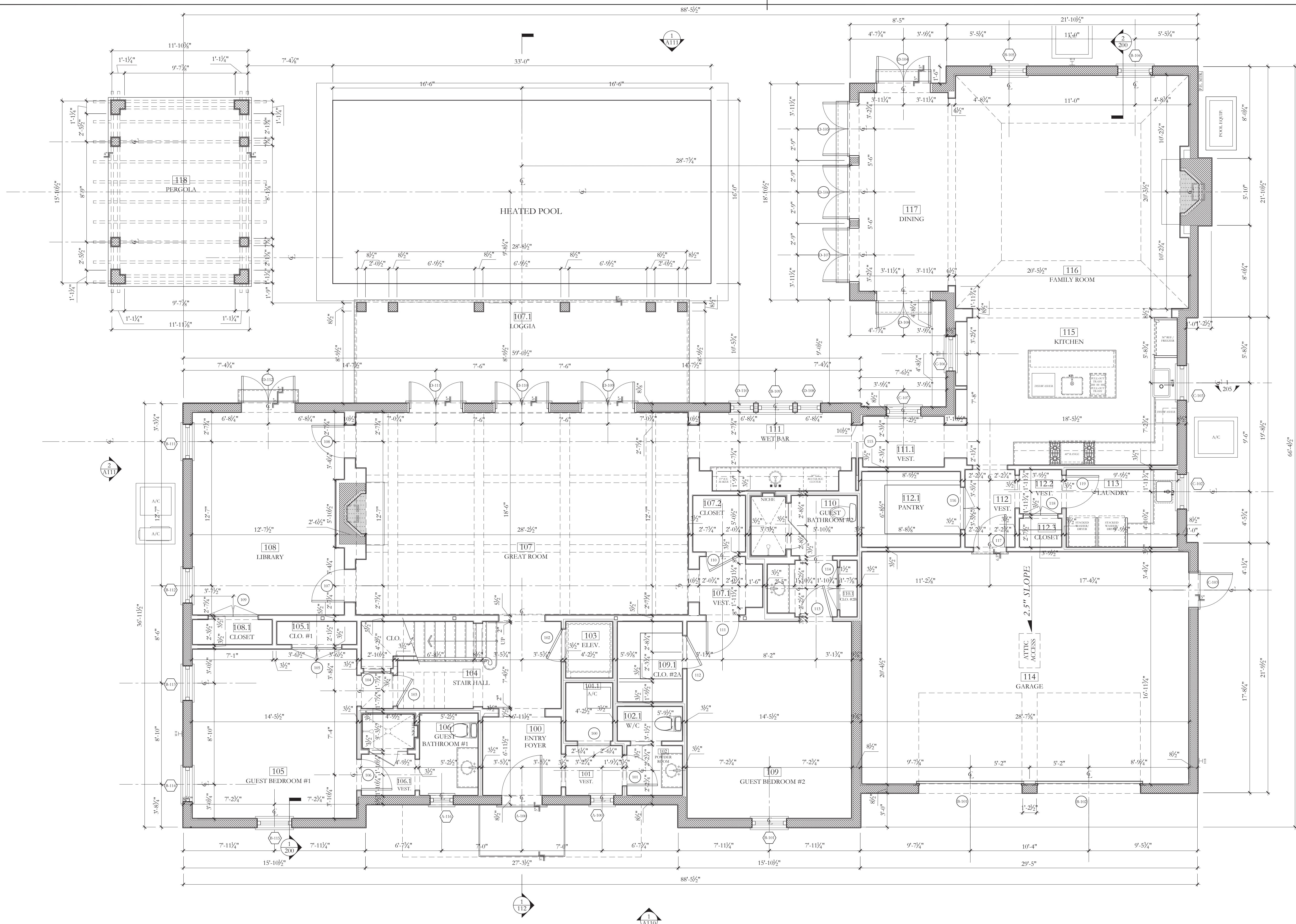
SHEET NO
A-001



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FLOOR PLAN NOTES:

- ***SEE "GENERAL PROJECT NOTES" ON A-001 FOR ADDITIONAL INFORMATION.
- DIMENSIONS SHOWN ON FLOOR PLANS ARE ROUGH-TO-ROUGH (I.E. STUD-TO-BLOCK) OR TO CENTERLINE, U.O.N. DO NOT SCALE OFF OF DRAWINGS.
 - ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED.
 - R-11 BATT INSULATION SHALL BE PROVIDED AT ALL BATHROOM & LAUNDRY WALLS, FLOORS, AND CEILINGS FOR SOUND PROOFING.
 - ALL STONE COUNTER TOPS AND TILE SELECTIONS SHALL BE APPROVED BY OWNER/DECORATOR.
 - ALL G.W.B. WALLS SHALL HAVE A LEVEL 5 FINISH.
 - ALL TRIM (CROWN MOULDINGS, BASE BOARDS, CASINGS, ETC.) AND CABINETRY SHALL BE PAINT GRADE WOOD, UNLESS SPECIFIED OTHERWISE BY OWNER/DECORATOR.
 - ALL PLUMBING FIXTURES & FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
 - ALL DECORATIVE LIGHTING FIXTURES SHALL BE APPROVED BY OWNER/DECORATOR.
 - ALL INTERIOR FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
 - SHOP DRAWINGS FOR ALL CABINETRY, DOORS & WINDOWS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT.

WALL TYPE LEGEND:

- STEEL COLUMNS
- MASONRY WALLS
- PARTITION WALLS
- PARTITION WALLS W/ R-11 BATT INSULATION (SEE NOTE #10 ABOVE)

PERMIT SET 01/17/2022
 PRELIMINARY SET 09/22/2021

258 SUMMA STREET
 WEST PALM BEACH, FLORIDA

SHEET TITLE
 FIRST FLOOR PLAN

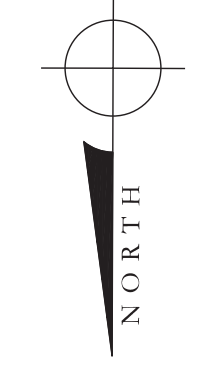
DATE JAN. 17, 2022 **SHEET NO.**
SCALE 1/4" = 1'-0" **A-100**
BY KC, STC



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1 FIRST FLOOR PLAN
 1/4"=1'-0"



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FLOOR PLAN NOTES:

***SEE "GENERAL PROJECT NOTES" ON A-001 FOR ADDITIONAL INFORMATION.

1. DIMENSIONS SHOWN ON FLOOR PLANS ARE ROUGH-TO-ROUGH (I.E. STUD-TO-BLOCK) OR TO CENTERLINE, U.O.N. DO NOT SCALE OFF OF DRAWINGS.
2. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED.
3. R-11 BATT INSULATION SHALL BE PROVIDED AT ALL BATHROOM & LAUNDRY WALLS, FLOORS, AND CEILINGS FOR SOUND PROOFING.
4. ALL STONE COUNTER TOPS AND TILE SELECTIONS SHALL BE APPROVED BY OWNER/DECORATOR.
5. ALL G.W.B. WALLS SHALL HAVE A LEVEL 5 FINISH.
6. ALL TRIM (CROWN MOULDINGS, BASE BOARDS, CASINGS, ETC.) AND CABINETS SHALL BE PAINT GRADE WOOD, UNLESS SPECIFIED OTHERWISE BY OWNER/DECORATOR.
7. ALL PLUMBING FIXTURES & FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
8. ALL DECORATIVE LIGHTING FIXTURES SHALL BE APPROVED BY OWNER/DECORATOR.
9. ALL INTERIOR FINISHES SHALL BE APPROVED BY OWNER/DECORATOR.
10. SHOP DRAWINGS FOR ALL CABINETS, DOORS & WINDOWS SHALL BE SUBMITTED TO AND APPROVED BY ARCHITECT.

WALL TYPE LEGEND:

- STEEL COLUMNS
- ▨ MASONRY WALLS
- ▬ PARTITION WALLS
- ▬ PARTITION WALLS W/ R-11 BATT INSULATION (SEE NOTE #10 ABOVE)

PERMIT SET 01/17/2022
 PRELIMINARY SET 09/22/2021

258 SUMMA STREET
 WEST PALM BEACH, FLORIDA

SHEET TITLE
 SECOND FLOOR PLAN

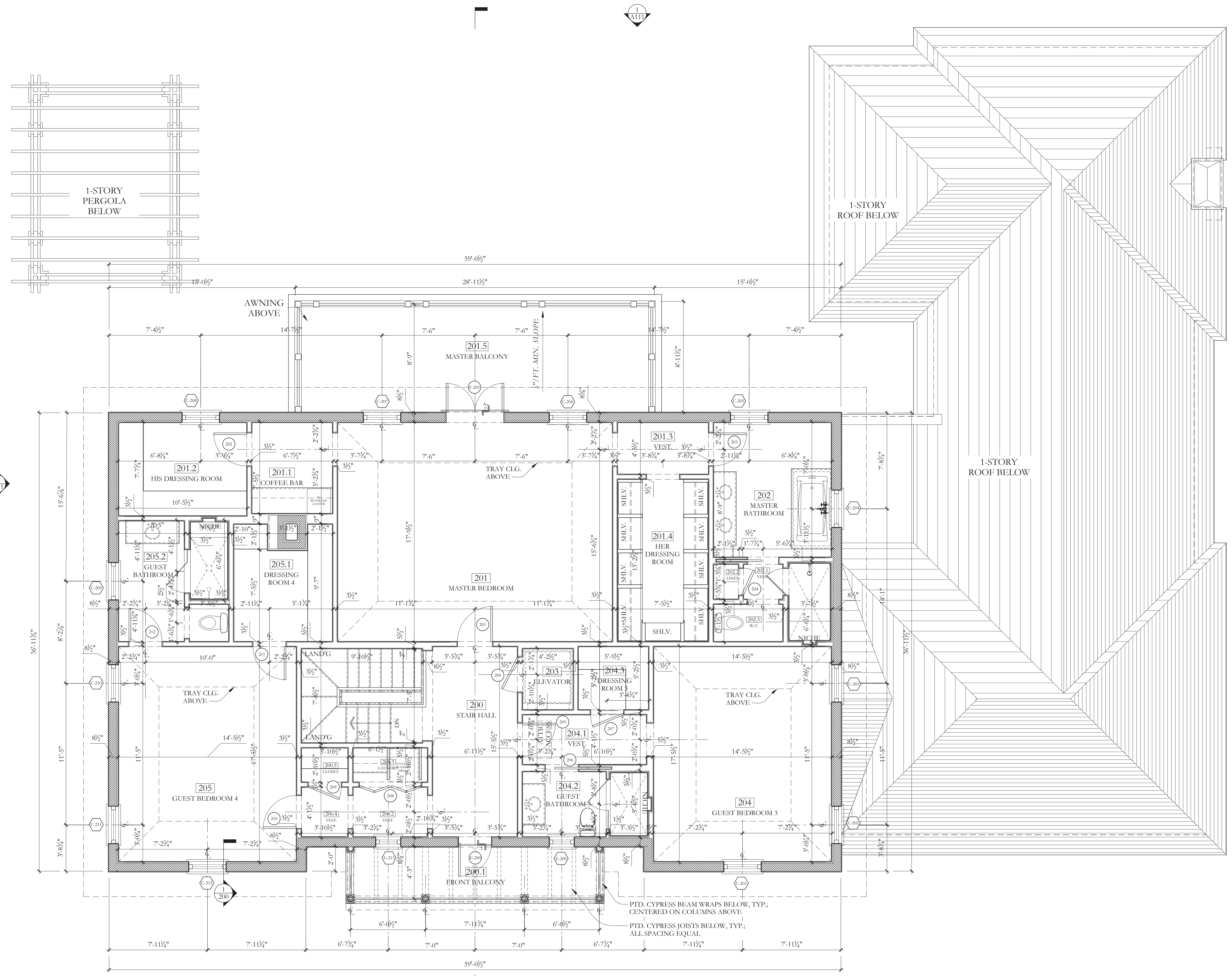
DATE JAN. 17, 2022 SHEET NO A-101
 SCALE 1/4" = 1'-0"
 BY KC, STC



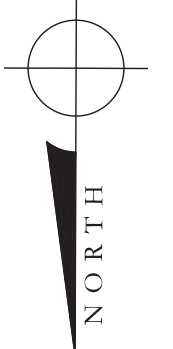
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1 SECOND FLOOR PLAN
 1/4" = 1'-0"



1/112

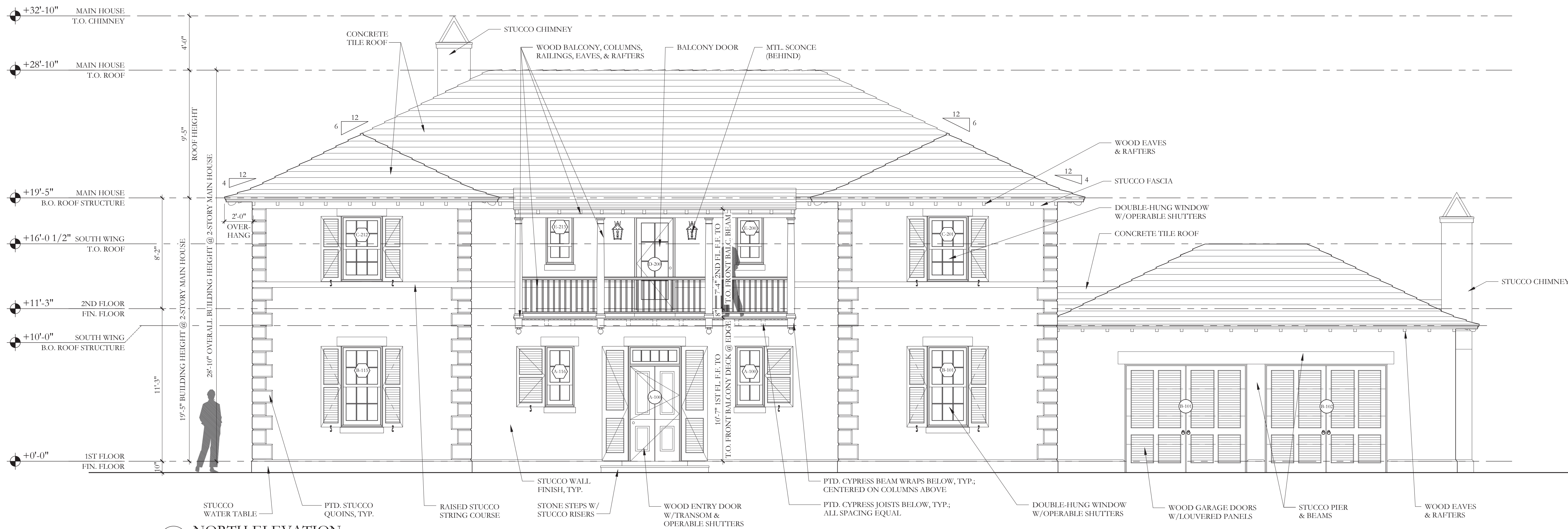
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2/111

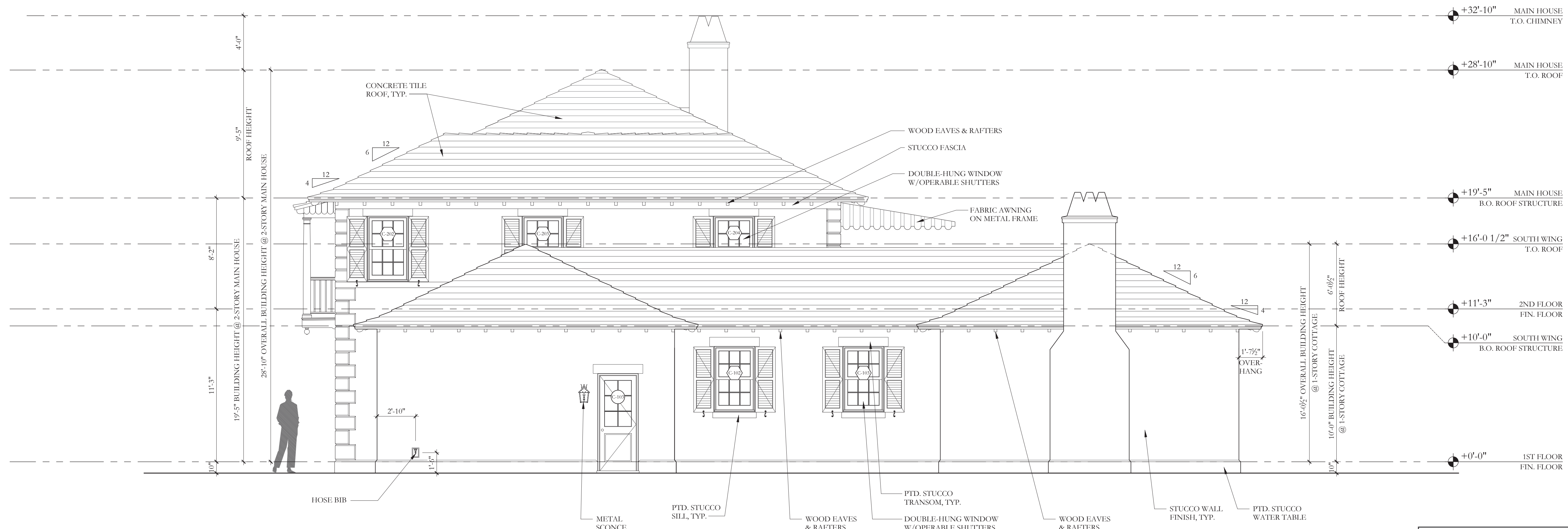
2/110

1/111


1/110

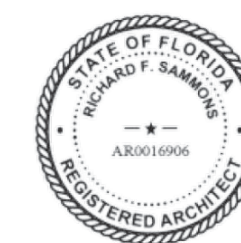


1 NORTH ELEVATION
1/4"=1'-0"

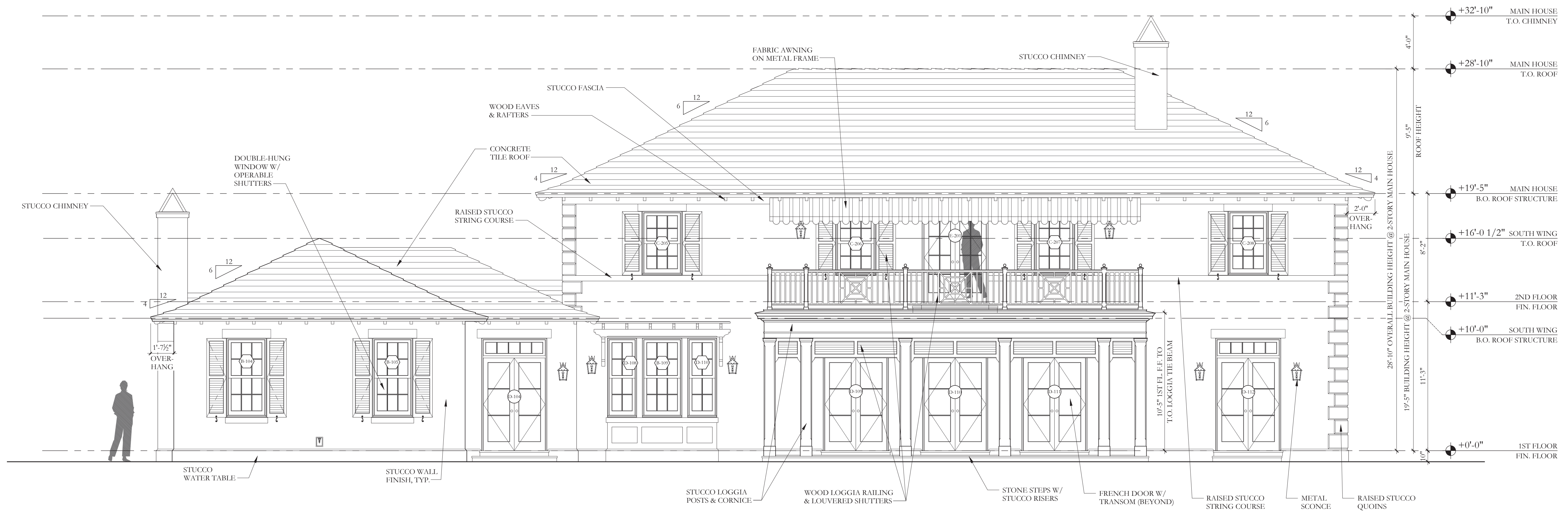


2 WEST ELEVATION
1/4"=1'-0"

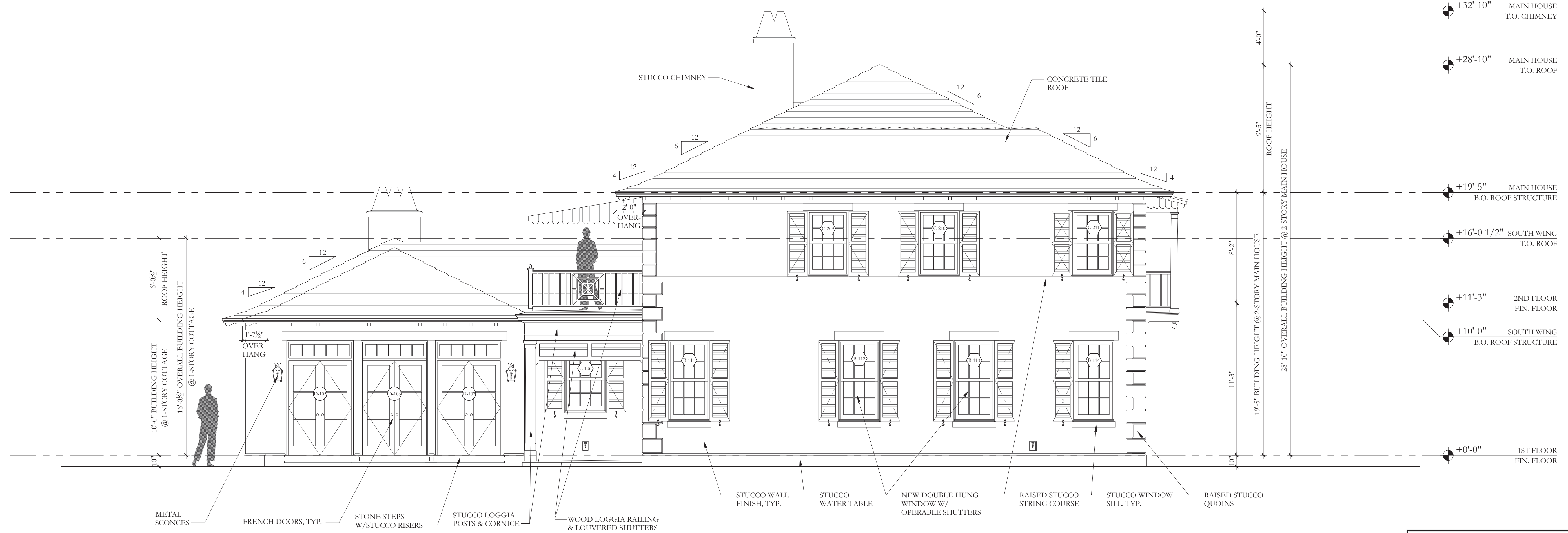
PERMIT SET	01/17/2022
PRELIMINARY SET	09/22/2021
258 SUMMA STREET WEST PALM BEACH, FLORIDA	
SHEET TITLE NORTH & WEST ELEVATIONS	
DATE JAN. 17, 2022	SHEET NO A-110
SCALE AS NOTED	
BY MC, KC, STC	
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1 SOUTH ELEVATION
1/4"=1'-0"



2 EAST ELEVATION
1/4"=1'-0"

PERMIT SET 01/17/2022
PRELIMINARY SET 09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
SOUTH & EAST ELEVATIONS

DATE JAN. 17, 2022 SHEET NO
SCALE AS NOTED A-111
BY MC, KC, STC



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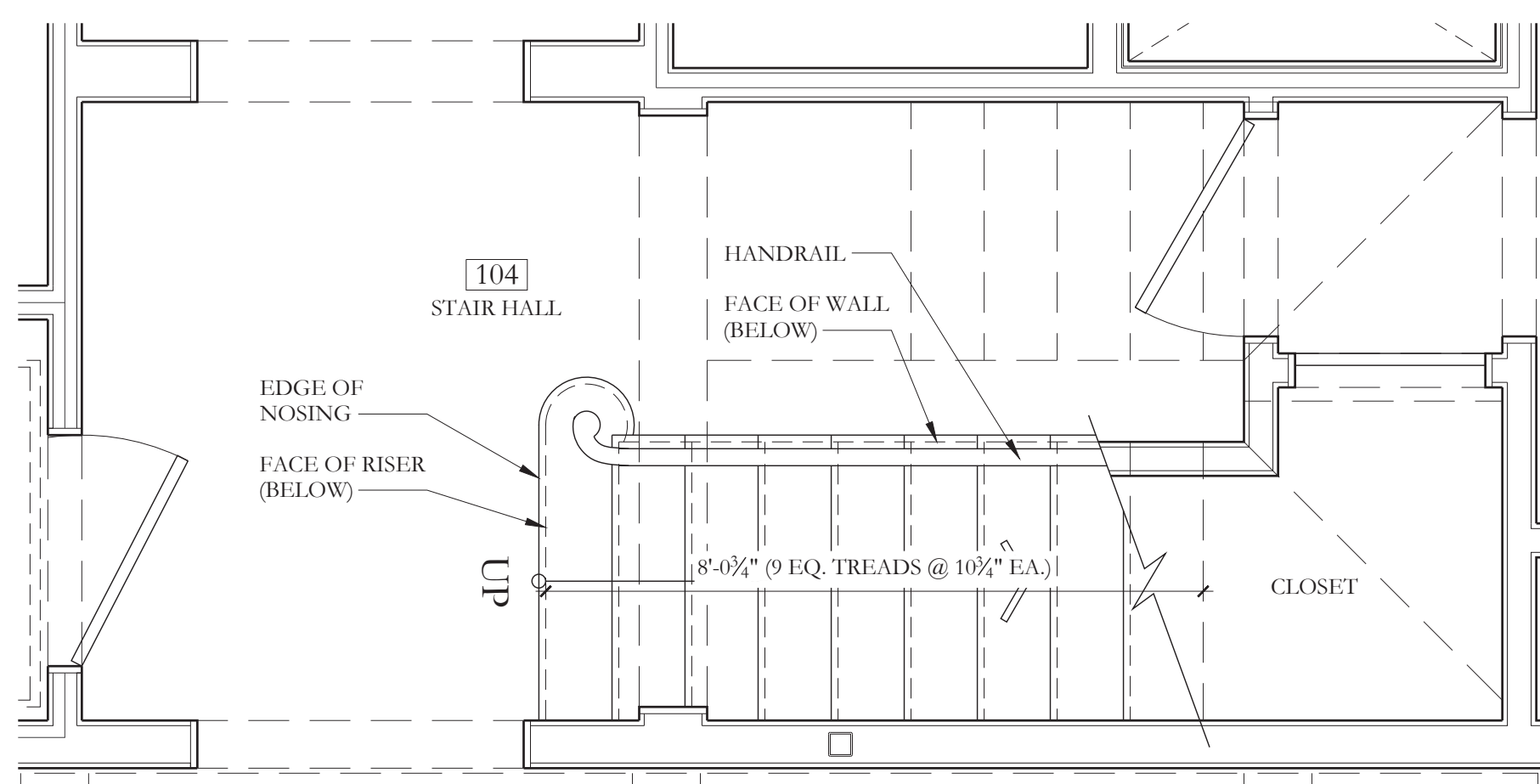
1 BUILDING SECTION, LOOKING WEST
1/4"=1'-0"

FOUNDATION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

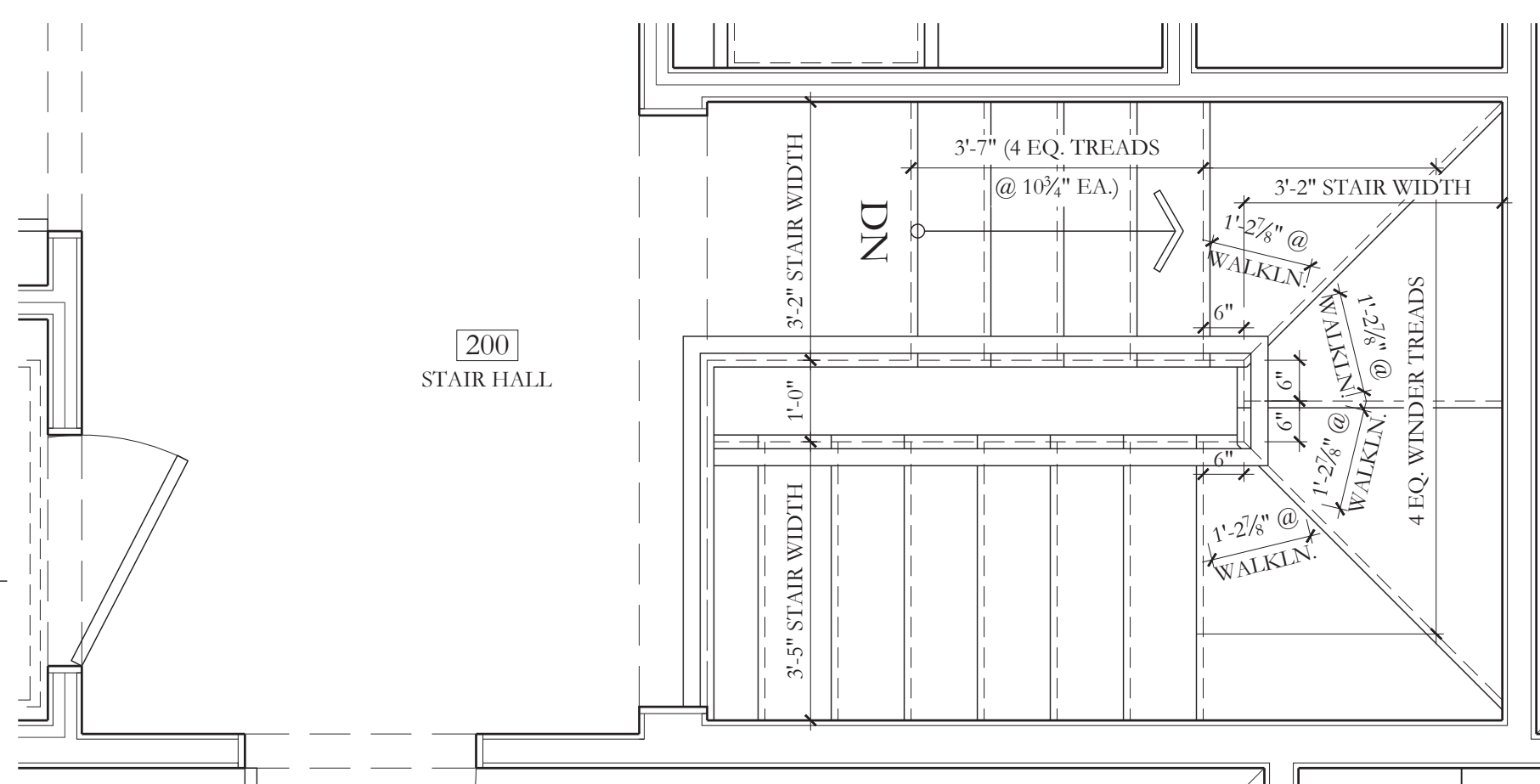


2 104/200 STAIR HALL SECTION, LOOKING NORTH
1/2"=1'-0"

NOTE: HANDRAILS TO BE TYPE 1, AND TO COMPLY WITH R311.7.8.3



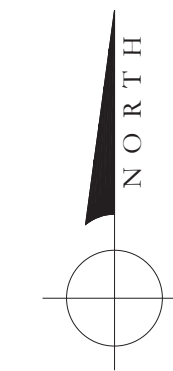
3 104 STAIR HALL PLAN (1ST FL.)
1/2"=1'-0"



4 200 STAIR HALL PLAN (2ND FL.)
1/2"=1'-0"



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PERMIT SET 01/17/2022
PRELIMINARY SET 09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
BUILDING SECTIONS

DATE
JAN. 17, 2022

SCALE
AS NOTED

BY
JHS, CG, STC

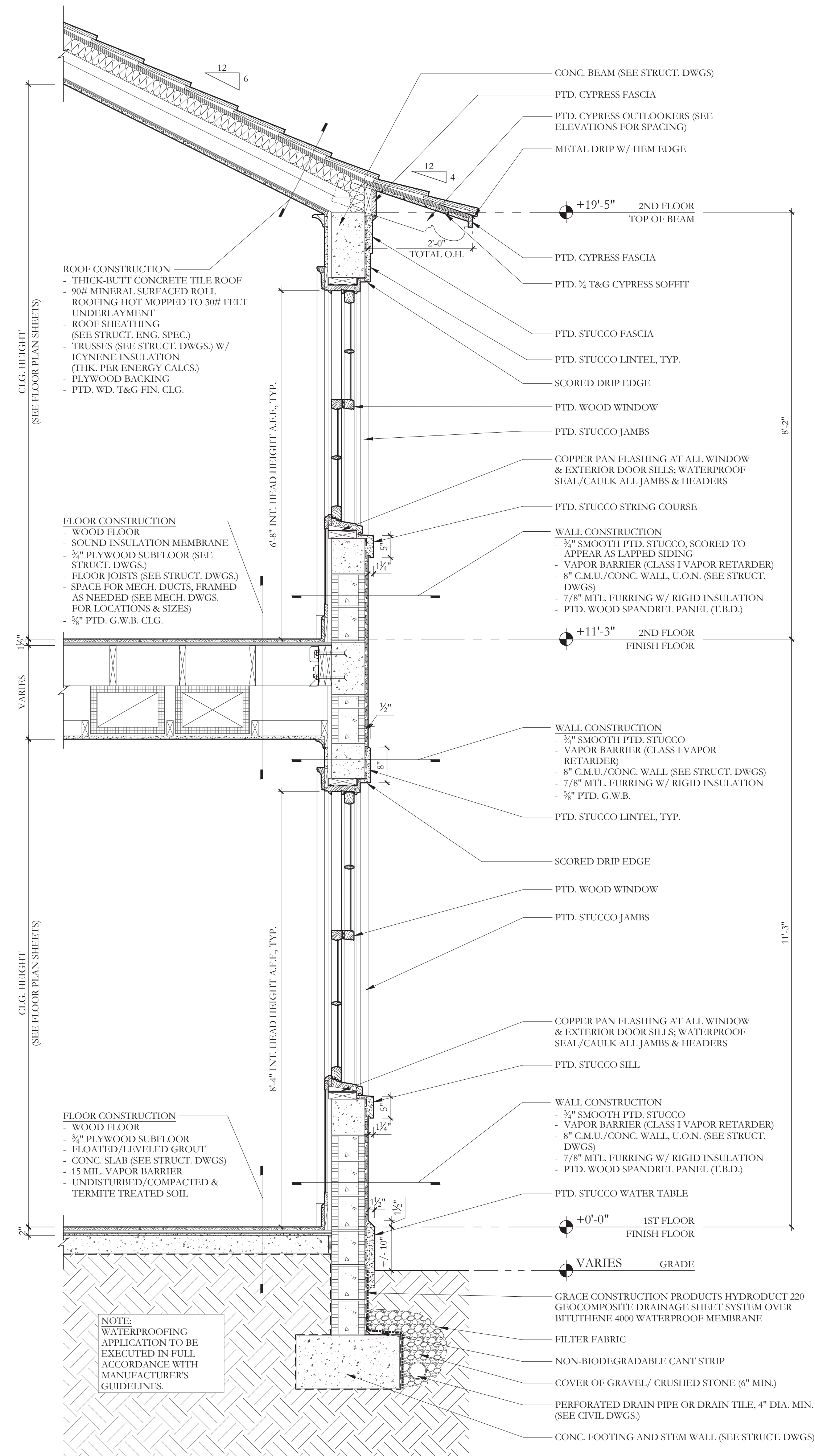
SHEET NO
A-112



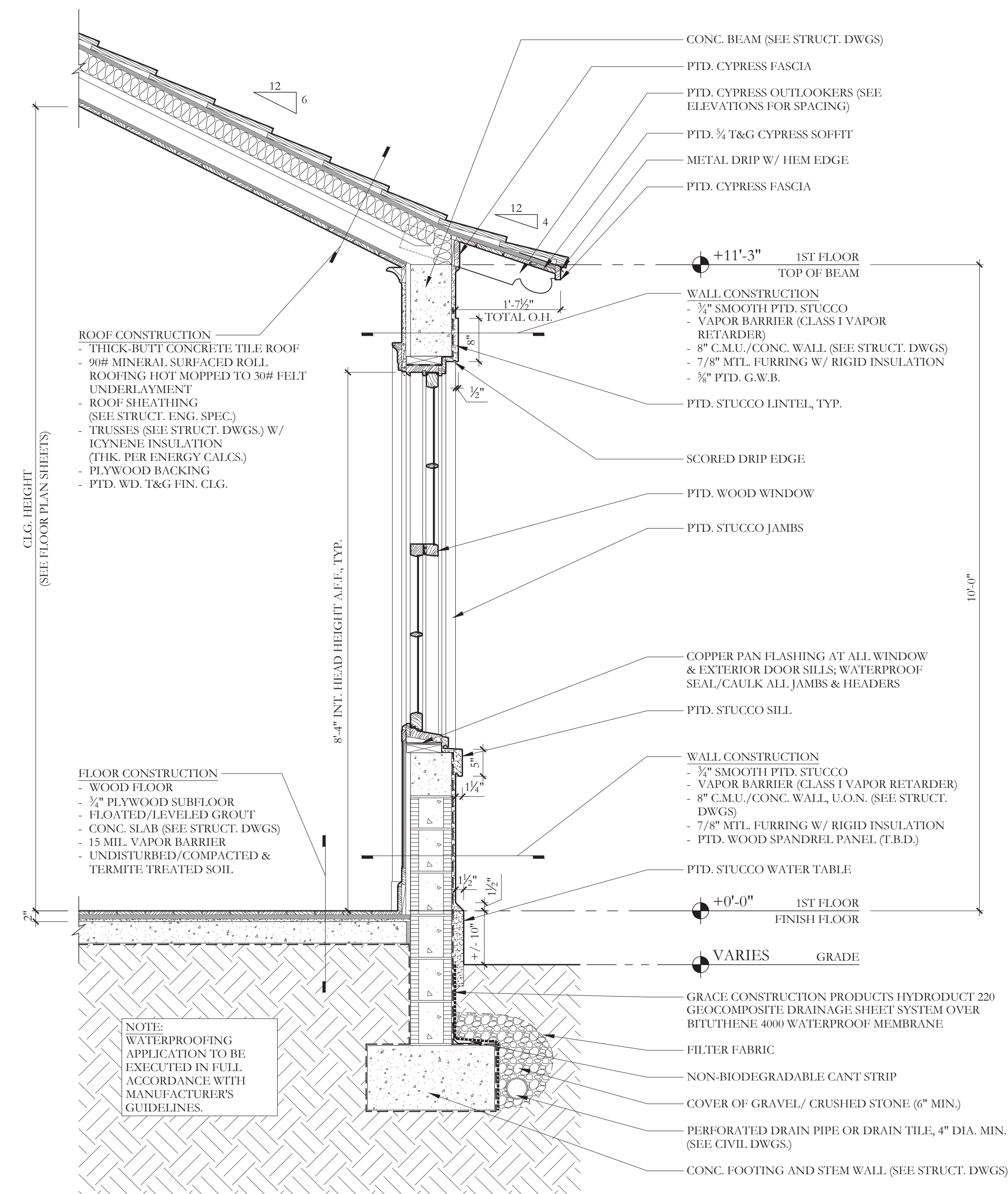
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1 TYP. 2-STORY EXTERIOR WALL SECTION
3/4"=1'-0"



2 TYP. 1-STORY EXTERIOR WALL SECTION
3/4"=1'-0"

PERMIT SET 01/17/2022
PRELIMINARY SET 09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
WALL SECTIONS

DATE JAN. 17, 2022
SCALE AS NOTED
BY STC

SHEET NO
A-200

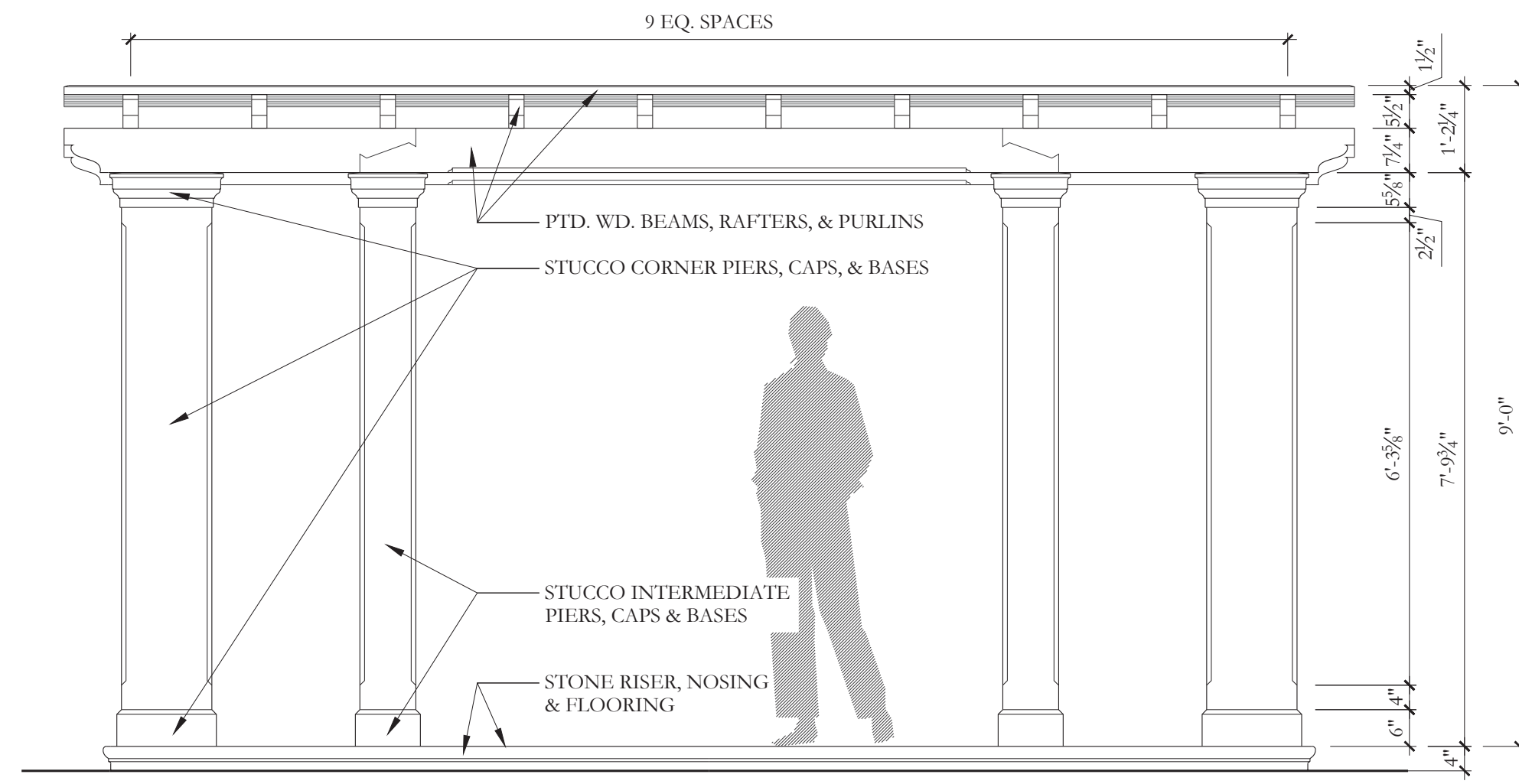


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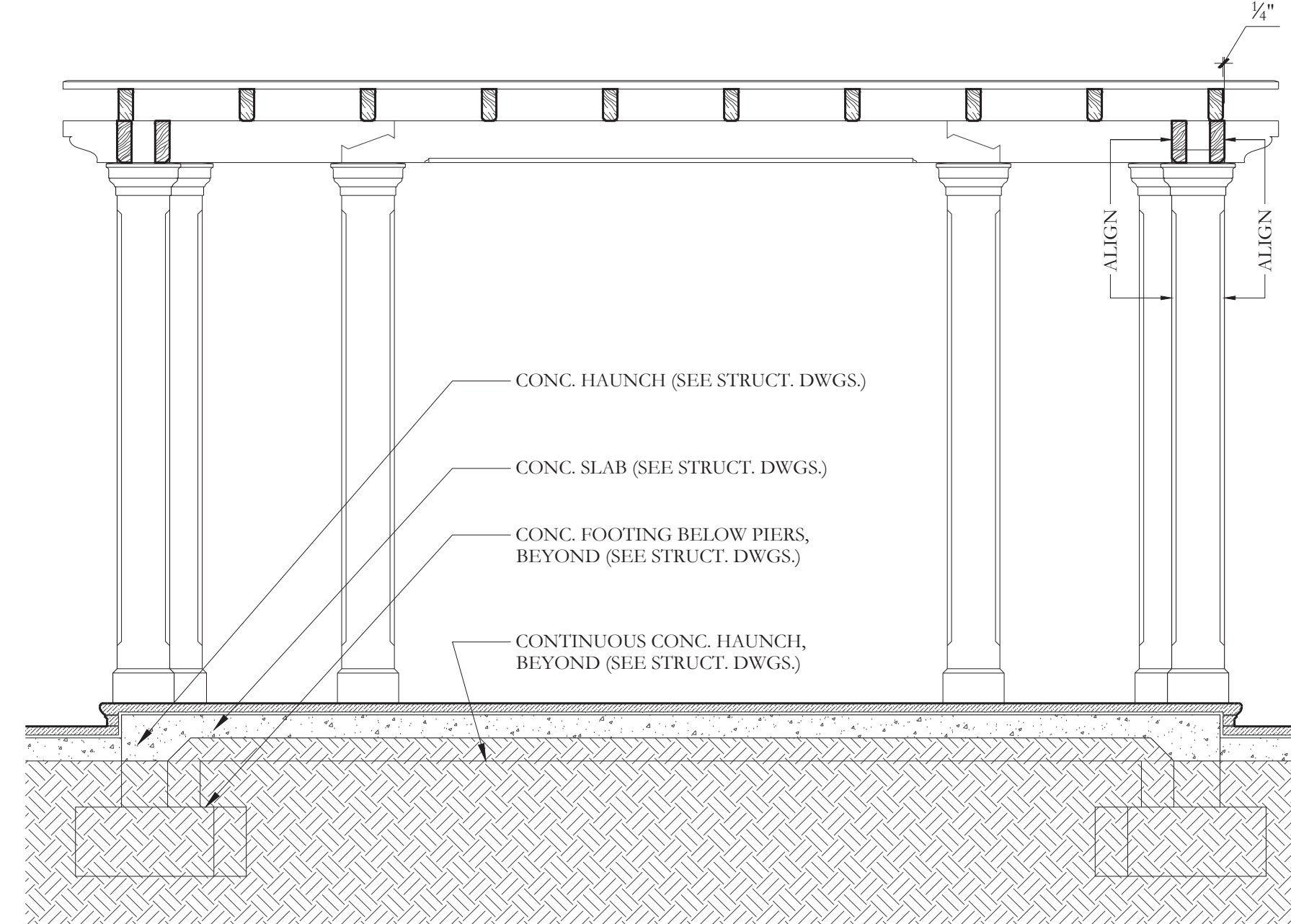
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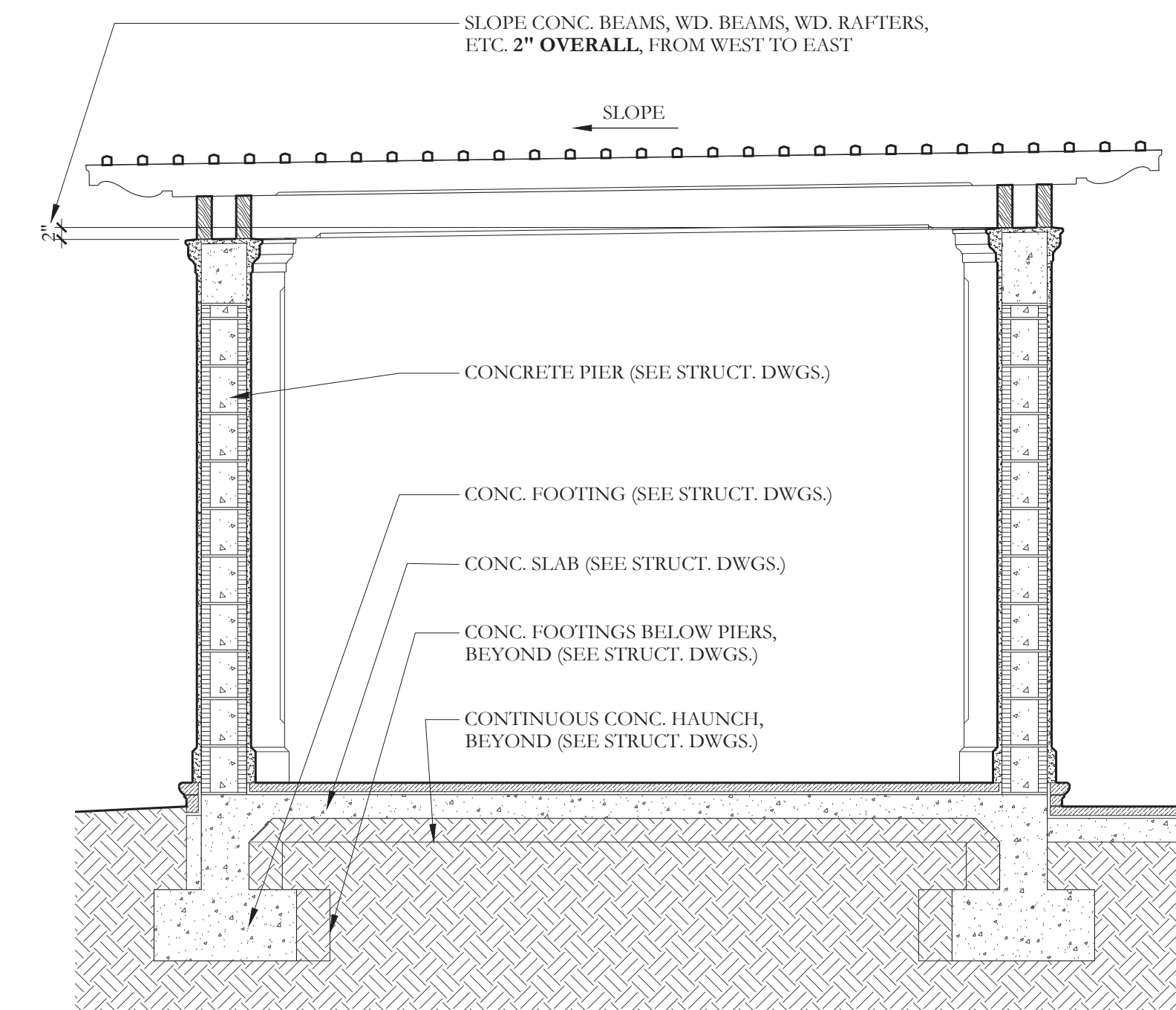
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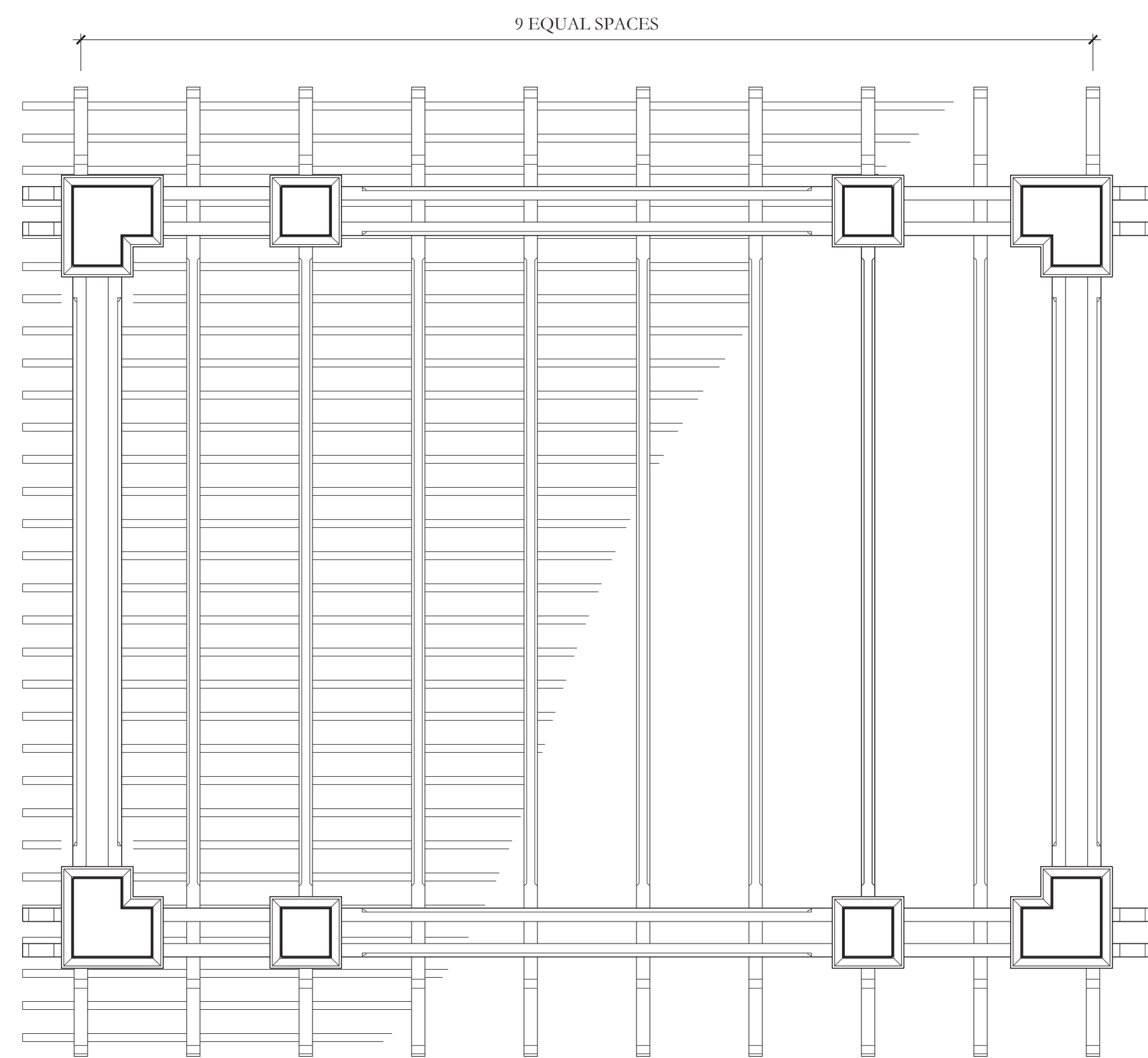
1 PERGOLA WEST ELEVATION (EAST ELEV. SIM.)
1/2"=1'-0"



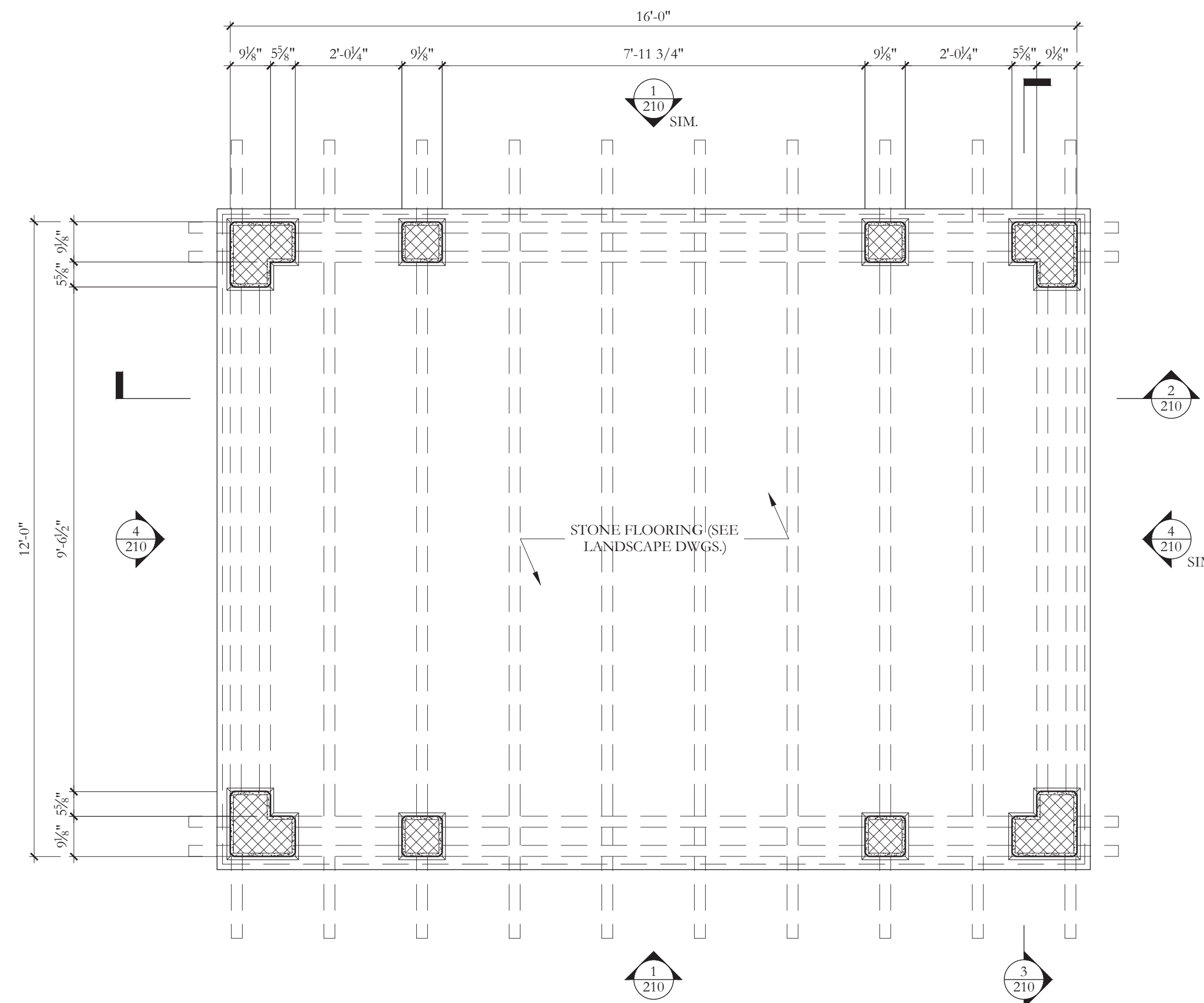
2 PERGOLA LONGITUDINAL SECTION (N-S)
1/2"=1'-0"



3 PERGOLA TRANSVERSE SECTION (E-W)
1/2"=1'-0"

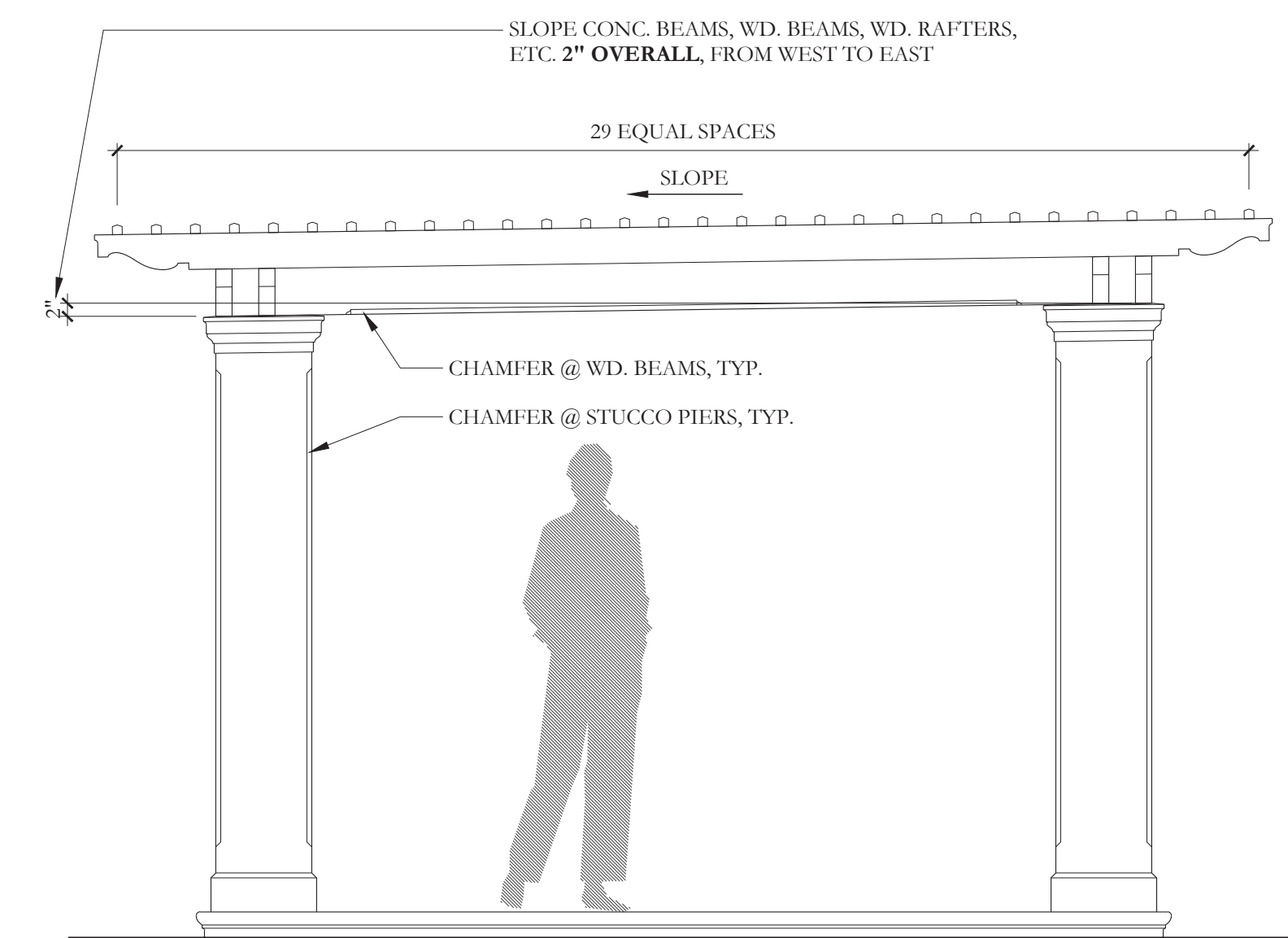


6 PERGOLA REFLECTED CEILING PLAN
1/2"=1'-0"



5 PERGOLA FLOOR PLAN
1/2"=1'-0"

ALL DIMENSIONS ON THIS SHEET ARE FINISH-TO-FINISH.



4 PERGOLA NORTH ELEVATION (SOUTH ELEV. SIM.)
1/2"=1'-0"

PERMIT SET	01/17/2022
PRELIMINARY SET	09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
118 PERGOLA DETAILS

DATE	JAN. 17, 2022	SHEET NO	A-210
SCALE	1/4" = 1'-0"		
BY	STC		

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NEW YORK - PALM BEACH
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EXTERIOR DOOR SCHEDULE											
#	TYPE	LOCATION	# OF LEAVES	EXTR. STUCCO FIN. OPNG.		OPERABLE HEAD HT., INT. (A.F.F.)	MAT.	FINISH	LITES	REMARKS	#
				WIDTH	HEIGHT, A.F.F.						
Ⓐ-100	A	100 ENTRY FOYER	2 (DUTCH)	3'-10"	8'-6"	7'-0"	WD/ GL	STAIN	5 @ TR.	SINGLE INSWING DUTCH DOOR W/ GLASS TRANSOM ABOVE	Ⓐ-100
Ⓑ-100	B	114 GARAGE	1	9'-0"	8'-0"	-	WD	PAINT	-	FIN. WD. CLADDING ON STANDARD FLAT-PANEL SECTIONAL GARAGE DOOR	Ⓑ-100
Ⓑ-102	B	114 GARAGE	1	9'-0"	8'-0"	-	WD	PAINT	-	FIN. WD. CLADDING ON STANDARD FLAT-PANEL SECTIONAL GARAGE DOOR	Ⓑ-102
Ⓒ-100	C	114 GARAGE	1	3'-0"	7'-2"	-	WD/ GL	PAINT	6	SINGLE OUTSWING	Ⓒ-100
Ⓓ-100	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-100
Ⓓ-102	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-102
Ⓓ-104	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-104
Ⓓ-106	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-106
Ⓓ-108	D	117 DINING	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-108
Ⓓ-110	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-110
Ⓓ-112	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-112
Ⓓ-114	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-114
Ⓓ-116	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-116
Ⓓ-118	D	107 GREAT ROOM	2	5'-0"	8'-6"	7'-0"	WD/ GL	PAINT	3/LEAF; 5 @ TR.	DOUBLE FRENCH OUTSWING W/ GLASS TRANSOM ABOVE	Ⓓ-118
Ⓓ-120	E	200 STAIR HALL	1	3'-0"	6'-10"	6'-8"	WD/ GL	PAINT	8	SINGLE OUTSWING	Ⓓ-200
Ⓓ-200	D	201 MASTER BEDROOM	2	5'-0"	6'-10"	6'-8"	WD/ GL	PAINT	8/LEAF	DOUBLE FRENCH OUTSWING	Ⓓ-200

EXTERIOR DOOR NOTES:

- EXTERIOR DOORS SHALL BE WOOD UNITS WITH CLEAR GLAZING, PAINTED FINISH (INT. & EXT.), BE IMPACT RATED, AND COMPLY WITH ALL CURRENT LOCAL CODE REQUIREMENTS.
- SAMPLE(S) TO BE APPROVED BY ARCHITECT.
- ALL DOORS SHALL RECEIVE TEMPORARY LEVERS AND HINGES. FINAL LEVERS AND HINGES SHALL BE SHIPPED LOOSE.
- CONTRACTOR SHALL VERIFY DOOR OPENINGS BEFORE DOOR SHOP DRAWINGS ARE SUBMITTED TO ARCHITECT.**
- CONTRACTOR SHALL SUBMIT DOOR AND FIXED UNIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURING DOORS.
- ALL DOOR UNITS TO BE PROPERLY WATERPROOFED AND CAULKED ON ALL SIDES.
- ALL OUT-SWINGING DOORS TO HAVE NON-REMOVABLE PINS.
- ALL DOORS SHALL HAVE BRASS THRESHOLDS SET IN SEALANT.
- ALL EXTERIOR DOORS AND FIXED UNITS TO HAVE A STONE SILL SET IN A COPPER PAN FLASHING.
- FINISH HARDWARE SHALL BE SELECTED BY OR APPROVED BY THE OWNER OR THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE TO THE ARCHITECT A CERTIFICATE INDICATING TEMPERED GLASS IN LIEU OF ETCHED STENCIL ON THE GLASS.
- ALL EXTERIOR DOORS TO BE MANUFACTURED BY **(T.B.D.)**.

WINDOW SCHEDULE										
#	TYPE	LOCATION	EXTR. STUCCO FIN. OPNG.			MAT.	FINISH	LITES	REMARKS	#
			WIDTH	HEIGHT	HT., A.F.F.					
Ⓐ-100	A - DBL HUNG	101 VESTIBULE	2'-1 1/2"	4'-6 1/4"	8'-6"	WD/ GL	PAINT	4/2		Ⓐ-100
Ⓑ-100	B - DBL HUNG	109 GUEST BEDROOM 2	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-100
Ⓒ-100	C - DBL HUNG	113 LAUNDRY	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-100
Ⓒ-102	C - DBL HUNG	115 KITCHEN	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-102
Ⓒ-104	B - DBL HUNG	116 FAMILY ROOM	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-104
Ⓒ-106	B - DBL HUNG	116 FAMILY ROOM	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-106
Ⓒ-108	C - DBL HUNG	115 KITCHEN	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-108
Ⓒ-110	C - DBL HUNG	111.1 VESTIBULE	3'-0"	4'-10 1/4"	8'-6"	WD/ GL	PAINT	6/6		Ⓒ-110
Ⓓ-100	D - DBL HUNG	111 WET BAR	2'-2 1/2"	6'-0"	8'-6"	WD/ GL	PAINT	4/4		Ⓓ-100
Ⓓ-102	C - DBL HUNG	111 WET BAR	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓓ-102
Ⓓ-110	D - DBL HUNG	111 WET BAR	2'-2 1/2"	6'-0"	8'-6"	WD/ GL	PAINT	4/4		Ⓓ-110
Ⓑ-111	B - DBL HUNG	108 LIBRARY	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-111
Ⓑ-112	B - DBL HUNG	108 LIBRARY	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-112
Ⓑ-113	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-113
Ⓑ-114	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-114
Ⓑ-115	B - DBL HUNG	105 GUEST BEDROOM 1	3'-0"	6'-0"	8'-6"	WD/ GL	PAINT	6/6		Ⓑ-115
Ⓐ-110	A - DBL HUNG	106 GUEST BATHROOM 1	2'-1 1/2"	4'-6 1/4"	8'-6"	WD/ GL	PAINT	4/2		Ⓐ-110
Ⓒ-200	E - DBL HUNG	204.2 GUEST BATHROOM 3	2'-1 1/2"	3'-8"	6'-10"	WD/ GL	PAINT	4/2		Ⓒ-200
Ⓒ-200	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-200
Ⓒ-202	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-202
Ⓒ-204	C - DBL HUNG	204 GUEST BEDROOM 3	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-204
Ⓒ-206	C - DBL HUNG	202 MASTER BATHROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-206
Ⓒ-208	C - DBL HUNG	202 MASTER BATHROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-208
Ⓒ-210	C - DBL HUNG	201 MASTER BEDROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-210
Ⓒ-212	C - DBL HUNG	201 MASTER BEDROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-212
Ⓒ-214	C - DBL HUNG	201.2 HIS DRESSING ROOM	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-214
Ⓒ-216	C - DBL HUNG	205.2 GUEST BATHROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-216
Ⓒ-218	C - DBL HUNG	205 GUEST BEDROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-218
Ⓒ-220	C - DBL HUNG	205 GUEST BEDROOM 4	3'-0"	4'-10 1/4"	6'-10"	WD/ GL	PAINT	6/6		Ⓒ-220
Ⓒ-222	E - DBL HUNG	200.2 VESTIBULE	2'-1 1/2"	3'-8"	6'-10"	WD/ GL	PAINT	4/2		Ⓒ-222

WINDOW NOTES:

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- CONTRACTOR SHALL VERIFY WINDOW OPENINGS BEFORE WINDOW SHOP DRAWINGS ARE SUBMITTED TO ARCHITECT.**
- CONTRACTOR SHALL SUBMIT WINDOW SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURING WINDOWS.
- ALL WINDOW UNITS TO BE PROPERLY WATERPROOFED AND CAULKED ON ALL SIDES.
- ALL WINDOW UNITS TO BE SET IN A COPPER PAN FLASHING WITH A MESH.
- FINISH HARDWARE SHALL BE SELECTED BY OR APPROVED BY THE OWNER OR THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE TO THE ARCHITECT A CERTIFICATE INDICATING TEMPERED GLASS IN LIEU OF ETCHED STENCIL ON THE GLASS.
- ALL EXTERIOR WINDOWS TO BE MANUFACTURED BY **(T.B.D.)**.

PERMIT SET	01/17/2022
PRELIMINARY SET	09/22/2021

258 SUMMA STREET
WEST PALM BEACH, FLORIDA

SHEET TITLE
EXTERIOR DOOR & WINDOW SCHEDULES

DATE JAN. 17, 2022	SHEET NO A-220
SCALE AS NOTED	
BY STC, AS	



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