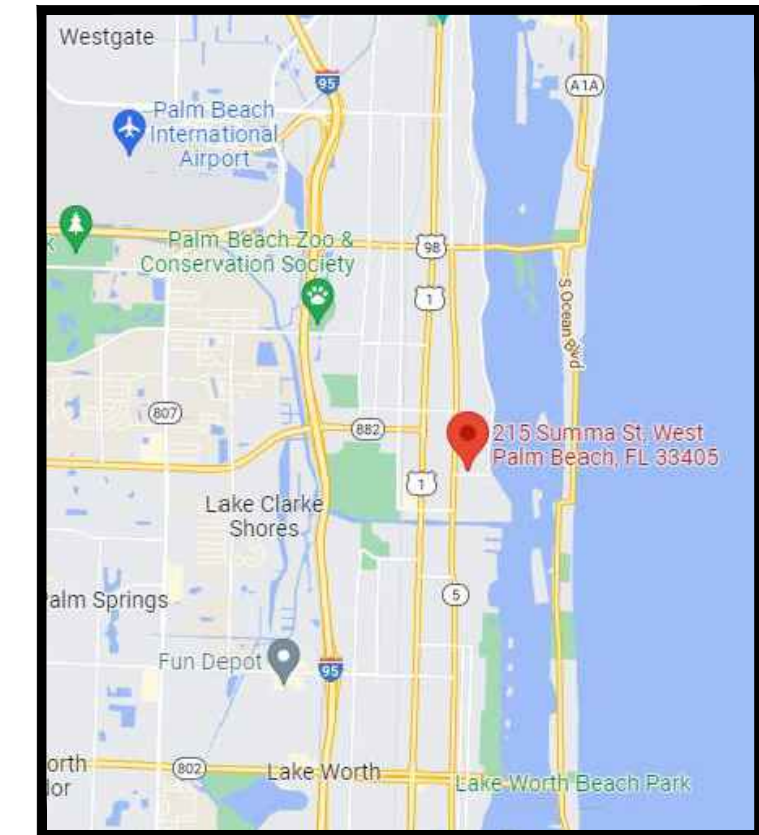
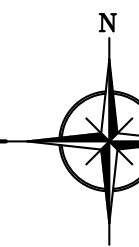


PROPOSED RESIDENCE AT:
215 SUMMA ST
 CITY OF WEST PALM BEACH WEST PALM BEACH, FLORIDA



LOCATION MAP
 WPB, FL
 N.T.S.



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A-6.02	WINDOW/DOOR ELEVATIONS		

GENERAL NOTES:

<p>1. ALL CONSTRUCTION SHALL FOLLOW THE "FLORIDA BUILDING CODE 2020" WITH AMENDMENTS, AS ADOPTED BY THE CITY OF WEST PALM BEACH, FLORIDA.</p> <p>2. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE, WHICH MAY NOT BE SPECIFICALLY ADDRESSED IN THE PLANS AND NOTES.</p> <p>3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY THE ARCHITECT IMMEDIATELY VIA PHONE CALL AND IN WRITING OF DISCREPANCIES, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE DRAWINGS.</p> <p>4. SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ITEMS WHICH REQUIRE APPROVAL OF THE BUILDING OFFICIAL SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE ARCHITECT.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON STRUCTURAL MEMBERS DURING CONSTRUCTION.</p> <p>6. THE CONTRACTOR, SUBCONTRACTOR, AND/OR SUPPLIERS ARE TO PROVIDE MANUFACTURER'S SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE, FABRICATION AND INSTALLATION. SUBMIT MINIMUM THREE COPIES. SUPPLY PRODUCT APPROVALS TO BLDG. DEPT. AS REQUIRED. SHOP DRAWINGS SHALL BE PROVIDED FOR, BUT NOT LIMITED TO THE FOLLOWING: A. DOORS AND WINDOWS B. AIR CONDITIONING EQUIPMENT AND LAYOUT C. ELECTRICAL EQUIPMENT AND LIGHTING FIXTURES D. ROOF AND FLOOR TRUSSES E. STRUCTURAL STEEL F. CABINETS G. STRUCTURAL ALUMINUM</p> <p>7. ALL WINDOWS & DOORS SHALL BE CAULKED & WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FBC 2020, FLORIDA ENERGY EFFICIENCY FOR BUILDING CONSTRUCTION AND FLORIDA/MIAMI-DADE COUNTY PRODUCT APPROVALS.</p>	<p>8. THE CONTRACTOR SHALL BE HELD TO HAVE EXAMINED AND BE RESPONSIBLE FOR A COMPLETE WORKING KNOWLEDGE OF THE CONSTRUCTION DOCUMENTS AND EXISTING SITE CONDITIONS FOR THE WORK TO BE PERFORMED AND THE COMPLETION OF THE STRUCTURE, AS OUTLINED IN THE SCOPE OF WORK.</p> <p>9. THE CONTRACTOR SHALL LOCATE THE GENERAL REFERENCE POINTS AND TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF THEIR WORK INCLUDING BUT NOT LIMITED TO, LINES, ELEVATIONS, MEASUREMENTS AND OTHER INFORMATION. ERRORS RESULTING FROM MISINTERPRETATION OF THE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.</p> <p>10. ALL DESIGN LOADS NOT INDICATED ON DRAWINGS SHALL BE GOVERNED BY APPLICABLE "FLORIDA BUILDING CODE 2020".</p> <p>11. DRAWING DATUM IS BASED ON NORTH AMERICAN VERTICAL DATUM/REFERENCE HEIGHTS - N.A.V.D. CONFIRM ALL EXISTING DATUM PRIOR TO CONSTRUCTION.</p> <p>12. DIMENSIONS FOR ARCHITECTURAL DRAWINGS ARE NOMINAL FACE OF STUD TO FACE OF STUD, AND NOMINAL MASONRY DIMENSIONS, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.</p> <p>13. ALL INTERIOR PARTITIONS TO BE METAL STUDS (20 GAUGE MIN) AT 16" O.C. INTERIOR PARTITIONS AND FURRING SPACES VARY. REFER TO PLANS FOR DIMENSIONS.</p> <p>14. ISOLATE DISSIMILAR METALS TO PROTECT AGAINST GALVANIC ACTION.</p> <p>15. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS AND SUBCONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.</p> <p>16. ALL WORK INDICATED ON PLANS IS INTENDED TO BE A COMPLETE AND WORKABLE SYSTEM IN ACCORDANCE WITH ALL PRODUCT SPECS, EXISTING AND/OR NEW BUILDING DESIGN CONDITIONS, ETC. ALL MISCELLANEOUS MATERIALS, PARTS, APPLICABLE DIMENSIONS AND INFERRED CONDITIONS, WHETHER INDICATED OR NOT ON DRAWINGS, SHALL BE INCLUDED AS PART OF THIS DOCUMENT.</p> <p>17. STRUCTURAL WOOD AND FRAMING SHALL CONFORM TO THE "TIMBER CONSTRUCTION MANUAL," AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.</p>	<p>18. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESURE TREATED. PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD.</p> <p>19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND BRIDGING USED DURING ERECTION OF TRUSSES TO PREVENT COLLAPSE OR DAMAGE.</p> <p>20. HEADERS FOR FRAMED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER. (UNLESS NOTED OTHERWISE).</p> <p>21. ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12'S (FOR WOOD FRAME CONSTRUCTION). DEPENDING ON WALL THICKNESS AND LOCATION.</p> <p>22. REFER TO DRAWINGS BY OTHERS FOR ALL SECURITY SYSTEM DESIGN AND LOCATION.</p> <p>23. REFER TO DRAWINGS BY OTHERS FOR LIGHTNING PROTECTION, IF APPLICABLE.</p> <p>24. PROVIDE ALL NECESSARY BLOCKING, BACKINGS, FRAMING FOR MILLWORK, LIGHT FIXTURES, ELECTRIC UNIT, A/C, PLUMBING FIXTURES & EQUIPMENT, CEILING TRACKS & ALL OTHER ITEMS REQUIRING THE SAME. PROVIDE FIRE RETARDANT ON ALL BLOCKING IF REQUIRED BY CODE.</p> <p>25. THE CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & LICENSES AS WELL AS PAYMENT OF REQUIRED FEES.</p> <p>26. ALL EXTERIOR WALL OPENINGS, FLASHING, CENTER FLASHING, COPING AND EXPANSION JOINTS SHALL BE WEATHERPROOFED.</p> <p>27. ALL THERMAL INSULATION BATTS (AND SOUND INSULATION) SHALL BE NON-COMBUSTIBLE.</p> <p>28. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR APPLICABLE GENERAL NOTES AND REQUIREMENTS. SEE FINISH NOTES ON FINISH SCHEDULE.</p> <p>29. GENERAL CONTRACTOR TO SUPPLY POOL SAFETY/PROTECTION DEVICES PER APPLICABLE TOWN CODES.</p>	<p>30. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO REFER TO INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS IN ADDITION TO THESE DOCUMENTS. INTERIOR DESIGN DRAWINGS SHALL GOVERN WITH RESPECT TO ALL FINISH DIMENSIONS, MATERIALS, PLUMBING AND ELECTRICAL LAYOUT ETC. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE INTERIOR DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND INTERIOR DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.</p> <p>31. GENERAL CONTRACTOR TO DESTROY ALL PREVIOUSLY RECEIVED DRAWINGS SETS. GENERAL CONTRACTOR TO ENSURE ALL SUBCONTRACTORS AND APPLICABLE SUPPLIERS TO RECEIVE REVISED CONSTRUCTION SETS.</p> <p>32. 3/8" TYPE 'X' GYPSUM BOARD SHALL BE USED AT ALL GARAGE WALLS AND CEILING ADJACENT TO HABITABLE DWELLING SPACES.</p> <p>33. ALL FULL HEIGHT PARTITIONS & FURRED WALLS SHALL RECEIVE APPROPRIATE FIRE BLOCKING AT 10' MAX. VERTICAL SPACING.</p> <p>34. USE CEMENTITIOUS BACKER BOARD ON ALL TUB, SHOWER & SPA AREAS. BATHROOMS, LAUNDRY ROOMS, GARAGES, ETC.</p> <p>35. INSTALL SOUND BATT OR ROCKWOOL INSULATION IN ALL BATHROOM PARTITIONS, AROUND ALL WASTE STACKS & IN TRUSS VOIDS BELOW ALL HVAC ATTIC SPACES. SOUND INSULATION IS OPTIONAL IN ALL OTHER PARTITIONS, G.C. TO PROVIDE A PRICE FOR SOUND INSULATION IN ALL INTERIOR PARTITIONS FOR OWNER'S APPROVAL. ASSEMBLED PARTITIONS CONSISTING OF 3-5/8" METAL FRAMING AND (1) LAYER OF 3/8" GYPSUM BOARD ON EACH SIDE SHALL PROVIDE A MINIMUM STC RATINGS OF 50.</p> <p>36. DAILEY JANSSEN ARCHITECTS ALLOWS FOR A 2" THICKNESS STANDARD FOR FINISH FLOOR MATERIAL AND ALL FINISH FLOOR ELEVATIONS ARE BASED ON THIS ALLOWANCE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ACTUAL FINISH FLOOR MATERIALS SELECTED PRIOR TO CONSTRUCTION.</p> <p>37. INGRESS / EGRESS DOOR FROM GARAGE INTO RESIDENCE SHALL BE 1-3/4" THICK SOLID WOOD OR A G-LABEL 20 MIN. RATED DOOR PER 2020 FBC-R SECTION R-302.5.1</p> <p>38. DAILEY JANSSEN ARCHITECTS ALLOWS FOR A 2" THICKNESS STANDARD FOR FINISH FLOOR MATERIAL AND ALL FINISH FLOOR ELEVATIONS ARE BASED ON THIS ALLOWANCE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ACTUAL FINISH FLOOR MATERIALS SELECTED PRIOR TO CONSTRUCTION.</p> <p>39. HOSE BIBS SHOULD BE INSTALLED EVERY 100' MIN. AROUND PERIMETER OF HOUSE. G.C. TO COORDINATE LOCATIONS WITH ARCHITECT AND OWNER.</p>	<p>ABV. ABOVE AHU. AIR HANDLER ALT. ALTERNATE ARCH. ARCHITECTURAL A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM BO. BOARD B.O.B. BOTTOM OF BEAM BOT. BOTTOM BLDG. BUILDING CAB. CABINET CL. CENTER LINE C.G. CEILING COL. COLUMN CONG./CONC.A. CONCRETE CONT. CONTINUOUS CONDENSING UNIT DIA./Ø DIAMETER DTL. DETAIL DNG. DOWNSPOUT D.M. DOOR/WINDOW EA. EACH EQ. EXISTING EX/EXIST. EXTERIOR EXT. EXTERIOR FIN. FINISH FLR. FLOOR FTG. FOOTING GALV. GALVANIZED G.C. GENERAL CONTRACTOR G.T. GIRDER TRUSS GYP. GYPSUM HB. HOSE BIBB HD. HEAD HT./HGT. HEIGHT ID. INTERIOR DESIGNER INSUL. INSULATION INT. INTERIOR LAV. LAVATORY</p> <p>ME. MFG/MANUF. MTL. METAL MIN. MINIMUM MAX. MAXIMUM NIC. NOT IN CONTRACT O.C. ON CENTER O. OVER FL. FLYWOOD P.T. PRESSURE TREATED REINF. REINFORCING REF. REFRIGERATOR RM. ROOM SECT. SECTION SCHED. SCHEDULE S.F. SQUARE FEET SPECS. SPECIFICATIONS SS/ST. STL. STAINLESS STEEL STD. STANDARD STRUCT. STRUCTURAL SYP. SOUTHERN YELLOW PINE T.B.D. TO BE DETERMINED T.O. TOP OF T.O.B. TOP OF BEAM T.S. TUBE STEEL TEMP. TEMPERATURE TYP. TYPICAL U.G. UNDER COUNTER UNLESS OTHERWISE NOTED V.P. VAPOR BARRIER V.P. VERIFY IN FIELD W. WITH W.C. WATER CLOSET W.P. WATER PROOFING W.F. WELDED WIRE FABRIC WD. WOOD WIN. WINDOW</p>
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DAILEY JANSSEN ARCHITECTS, P.A.

400 Clematis Street, Suite #200 West Palm Beach, Florida 33401 TEL: 561-833-4707

CONSULTANTS AND ENGINEERS:

<p>CIVIL ENGINEER: STORMWATER ENGINEERING, INC. 1855 INDIAN ROAD, SUITE 202 WEST PALM BEACH, FL 33409 561-242-0028</p>	<p>LANDSCAPE ARCHITECT: NIEVERA WILLIAMS DESIGN 223 SUNSET AVENUE, SUITE 150 PALM BEACH, FL 33480 561-659-2820</p>	<p>SURVEYOR: GT SURVEYOR SERVICES INC. 1660 SOUTHERN BLVD, UNIT K WEST PALM BEACH, FL 33406 561-753-0342</p>	<p>GENERAL CONTRACTOR: THE CURY GROUP 1475 CENTREPARK BLVD. SUITE 100 WEST PALM BEACH, FL 33401 561-533-8888</p>	<p>GEOTECHNICAL ENGINEER: NUTTING ENGINEERS OF FLORIDA, INC. 1310 NEPTUNE DRIVE BOYNTON BEACH, FLORIDA 33426 561-736-4900</p>	<p>MEP ENGINEER: JONES & CONDE, LLC. 4440 PGA BOULEVARD PALM BEACH GARDENS, FL 33410 561-304-9017</p>	<p>STRUCTURAL ENGINEER: ONMJ ENGINEERING, INC. 1655 PALM BEACH LAKES BLVD SUITE 204 WEST PALM BEACH, FLORIDA 33401 561-835-4994</p>	<p>JOB NUMBER: 21-162 ISSUED FOR PERMIT: 04/18/2022 ISSUED FOR CONSTRUCTION:</p>
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Seal
 Roger P. Janssen
 AR-14785

DAILEY JANSSEN ARCHITECTS
 400 CLEMATIS STREET, SUITE 200
 WEST PALM BEACH, FLORIDA 33401
 LICENSE #AA-CO01974
 TEL: 561-833-4707

PROPOSED NEW RESIDENCE AT:
215 SUMMA ST
 WEST PALM BEACH, FLORIDA
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Date: 04/26/2022
 By: [Signature]
 Revised:

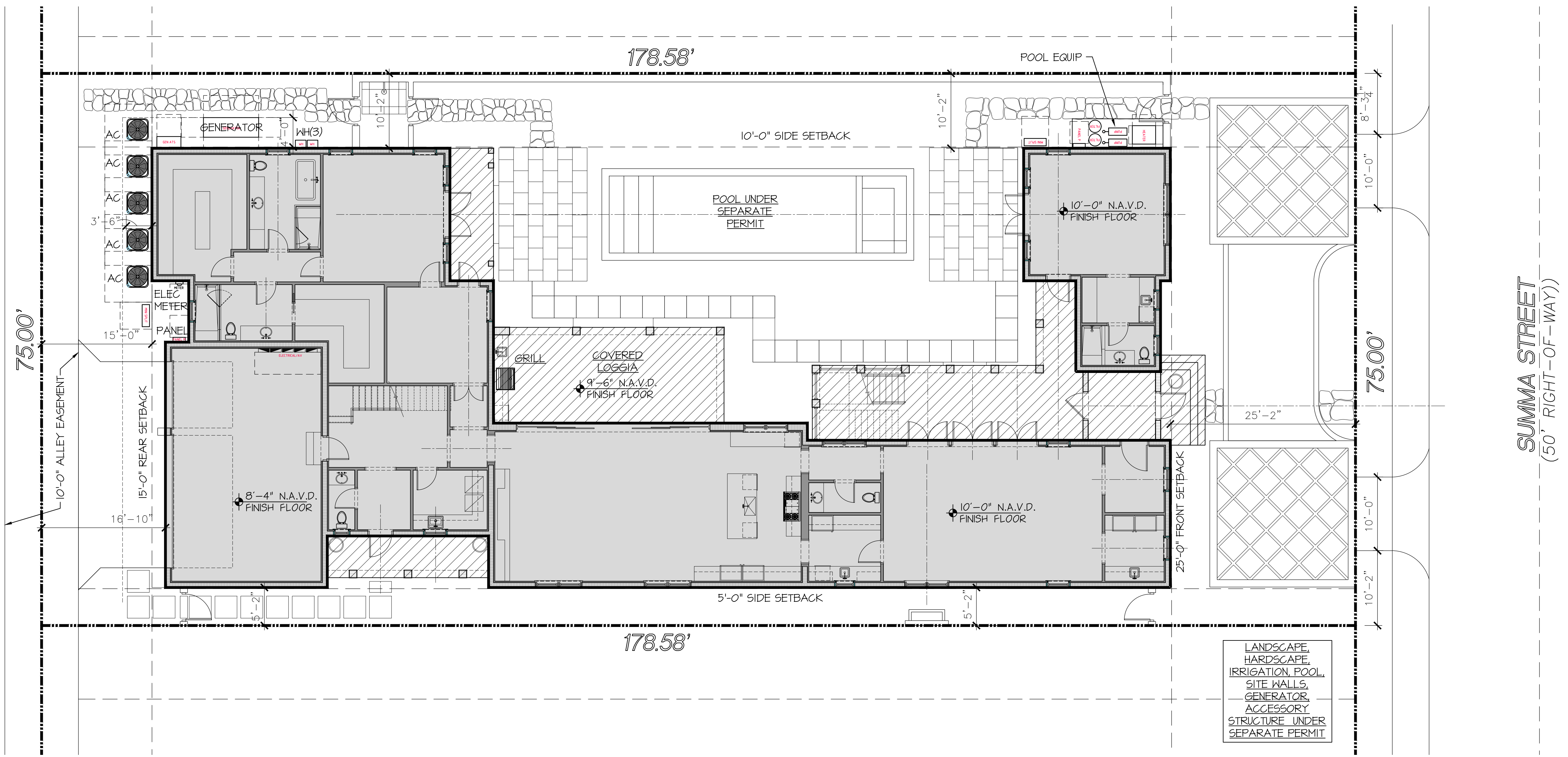
Job No.
 21-162
 Drawing No.
CS

PROJECT DESIGN DATA	
WIND DESIGN DATA:	
• ULTIMATE WIND SPEED:	170 mph
• WIND EXPOSURE CATEGORY:	D
• INTERNAL PRESSURE COEFFICIENT:	±0.18
• WIND DIRECTIONALITY FACTOR, Kd:	0.85
• BUILDING TYPE:	ENCLOSED
• BUILDING CATEGORY:	II
BUILDING DESIGN CRITERIA:	
• ROOF INSULATION R-VALUE:	20
• WALL INSULATION R-VALUE:	7.1

NOTES
1. REFER TO PLANS BY LANDSCAPE ARCHITECT FOR ALL LANDSCAPE AND HARDSCAPE INFORMATION.
2. REFER TO SOIL REPORT BY NITTING ENGINEERS DATED: JULY 2021
3. REFER TO CIVIL ENGINEERING DRAWINGS BY STORMWATER.J. FOR ALL DRAINAGE INFORMATION.
4. THIS PROPERTY IS LOCATED IN FLOOD ZONE X PER SURVEY DATED: 01/11/2022
LEGAL DESCRIPTION SEE SURVEY
ALL PROPERTY INFORMATION BASED ON SURVEY BY GT SURVEYOR SERVICES INC. 1660 SOUTHERN BLVD, UNIT K WEST PALM BEACH, FLORIDA 561-753-0353

SCOPE OF WORK	
1- NEW 2-STORY RESIDENCE 2- NEW HARDSCAPE AND POOL 3- NEW LANDSCAPE	
PROPOSED SQUARE FOOT DATA	
RESIDENCE AREA CALCULATIONS:	SQUARE FOOTAGE:
AREA:	
FIRST FLOOR (AC):	4,125 S.F.
SECOND FLOOR (AC):	1,000 S.F.
SECOND FLOOR GUEST (AC):	760 S.F.
TOTAL:	5,885 S.F.
GARAGES:	133 S.F.
3 CAR GARAGE:	
PATIOS/ TERRACES:	523 S.F.
FIRST FLOOR BREEZEWAY:	407 S.F.
FIRST FLOOR COVERED LANAI:	124 S.F.
FIRST FLOOR REAR PORCH:	106 S.F.
FIRST FLOOR MASTER PORCH:	566 S.F.
SECOND FLOOR BREEZEWAY AND DECK:	1726 S.F.
TOTAL PATIOS/ TERRACES:	2,252 S.F.
TOTAL UNDER ROOF:	8,252 S.F.

CITY OF WEST PALM BEACH SITE DATA: SF7 ZONING	
PROPOSED SETBACKS:	REQUIRED SETBACKS:
FRONT YARD: 25'-2"	FRONT YARD: 25'-0"
REAR YARD: 22'-10" / 11'-4"	REAR YARD: 15'-0" OR 10% OF LOT DEPTH
SIDE YARD: 11'-6" EAST / 5'-2" WEST	SIDE YARD: 5'-0" MINIMUM, 15'-0" TOTAL
	POOL SIDE AND REAR: 5'-0" TO EDGE OF WATER
PROPOSED BUILDING HEIGHT:	
OVERALL HEIGHT: (30'-0" MAXIMUM REQUIRED) TO MIDPOINT OF ROOF FROM MEAN GRADE	
DESIGN FLOOD ELEVATION:	
BASE FLOOD ELEVATION PLUS 2'-0"	
SITE WALLS:	
4'-0" MAX WITHIN FRONT YARD SETBACK FROM LOWEST ADJACENT GRADE	
6'-0" MAX WITHIN SIDE AND REAR YARD SETBACKS	



LANDSCAPE, HARDSCAPE, IRRIGATION, POOL, SITE WALLS, GENERATOR, ACCESSORY STRUCTURE UNDER SEPARATE PERMIT

N **SITE PLAN**
SCALE 1/8" = 1'-0"

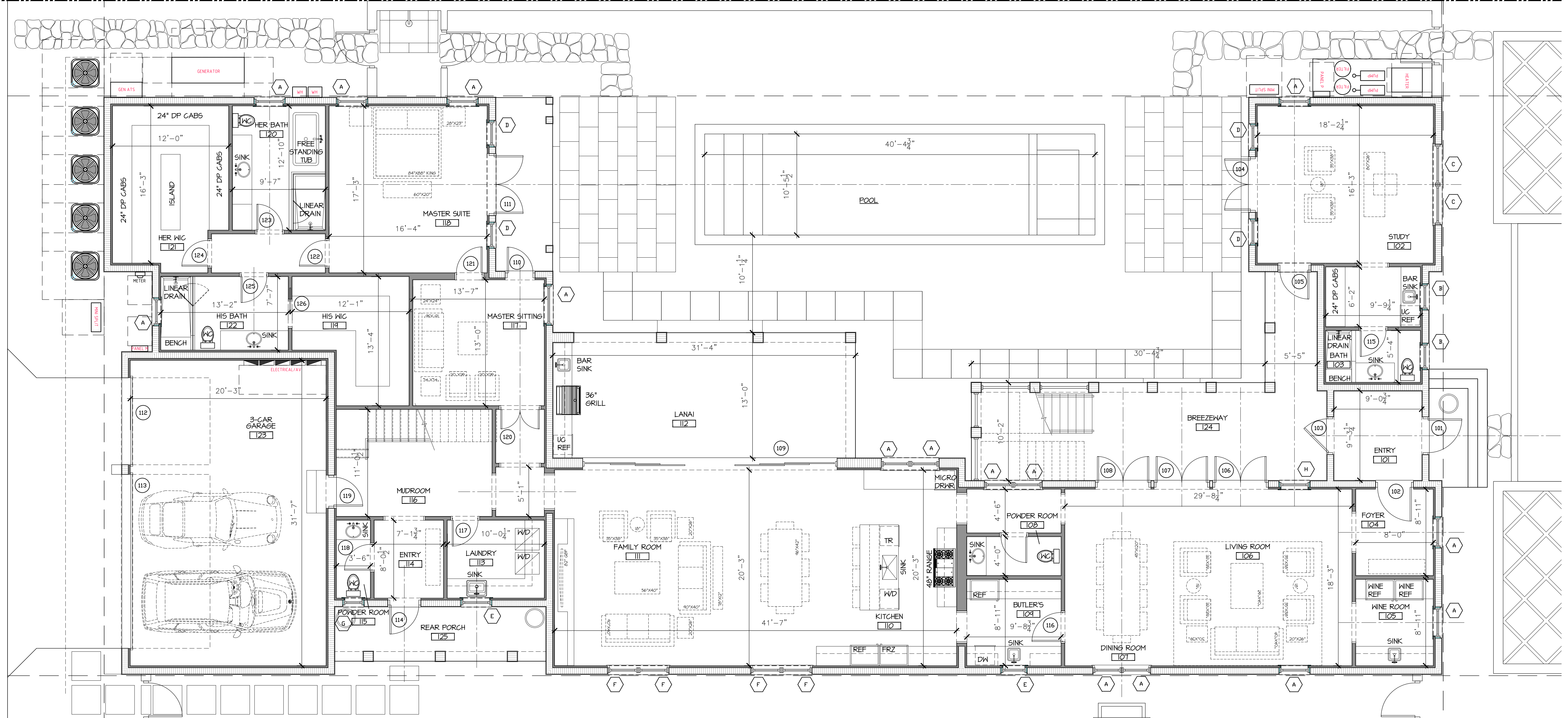
D J A DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200
WEST PALM BEACH, FLORIDA, 33401
LICENSE #AAC001974
TEL: 561-833-4707

PROPOSED NEW RESIDENCE AT:
215 SUMMA ST
WEST PALM BEACH, FLORIDA
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Date: 04/26/2022
Drawn by: RB
Revised:

Seal
Roger P. Janssen
AR-14785

Job No.
21-162
Drawing No.
SP1.01



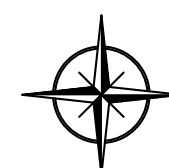
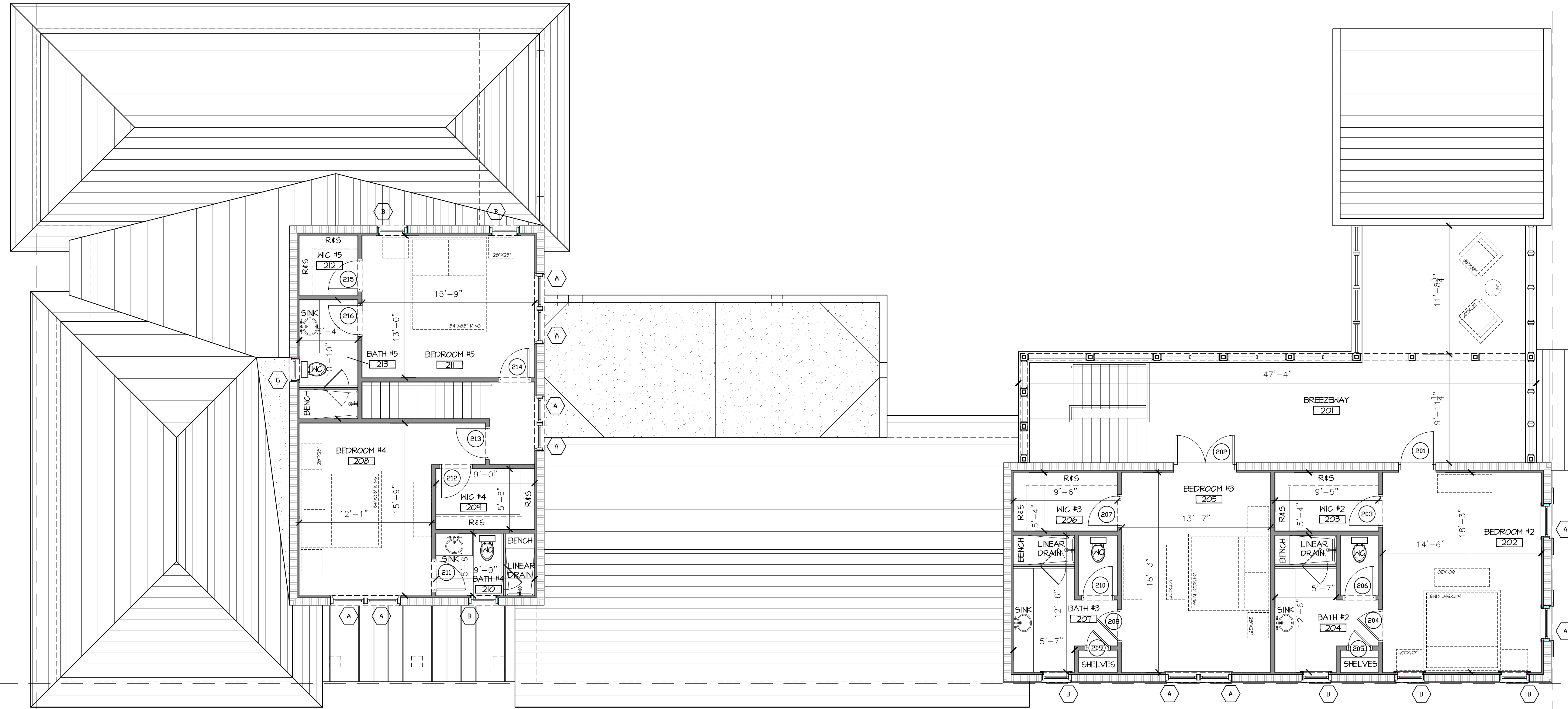
FIRST FLOOR PLAN
 SCALE 3/16" = 1'-0"

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 AR-14785

Job No.
21-162

Drawing No.
A1.10



SECOND FLOOR PLAN

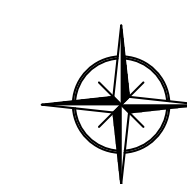
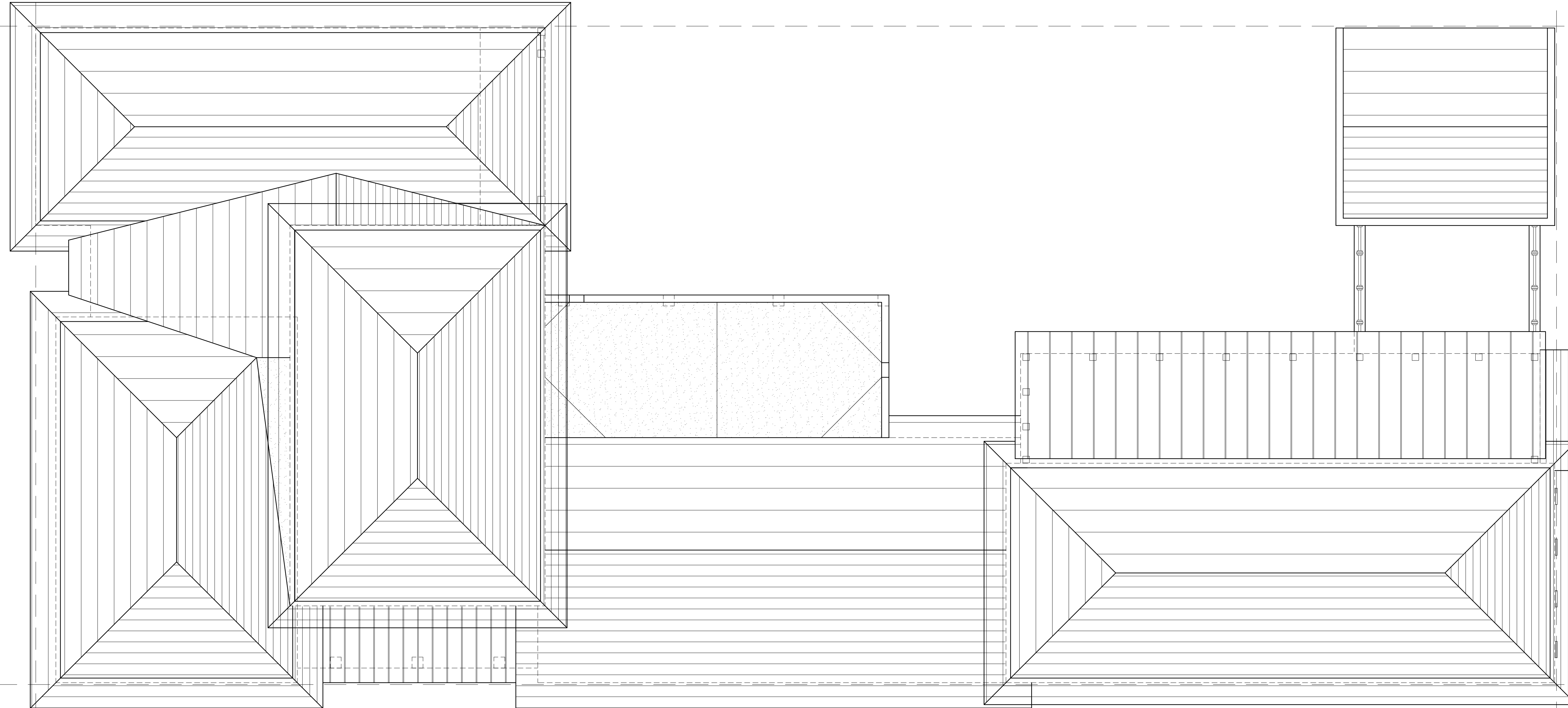
SCALE 3/16" = 1'-0"

Date: 04/26/2022
 Drawn by: RB
 Revised:

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 AR-14785

Job No.
 21-162

Drawing No.
 A1.11



ROOF PLAN

SCALE 3/16" = 1'-0"

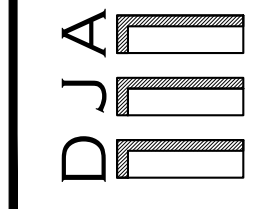
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 AR-14785

Job No.
 21-162

Drawing No.
 A1.12

Date: 04/28/2022
 Prepared by:
 Revised:

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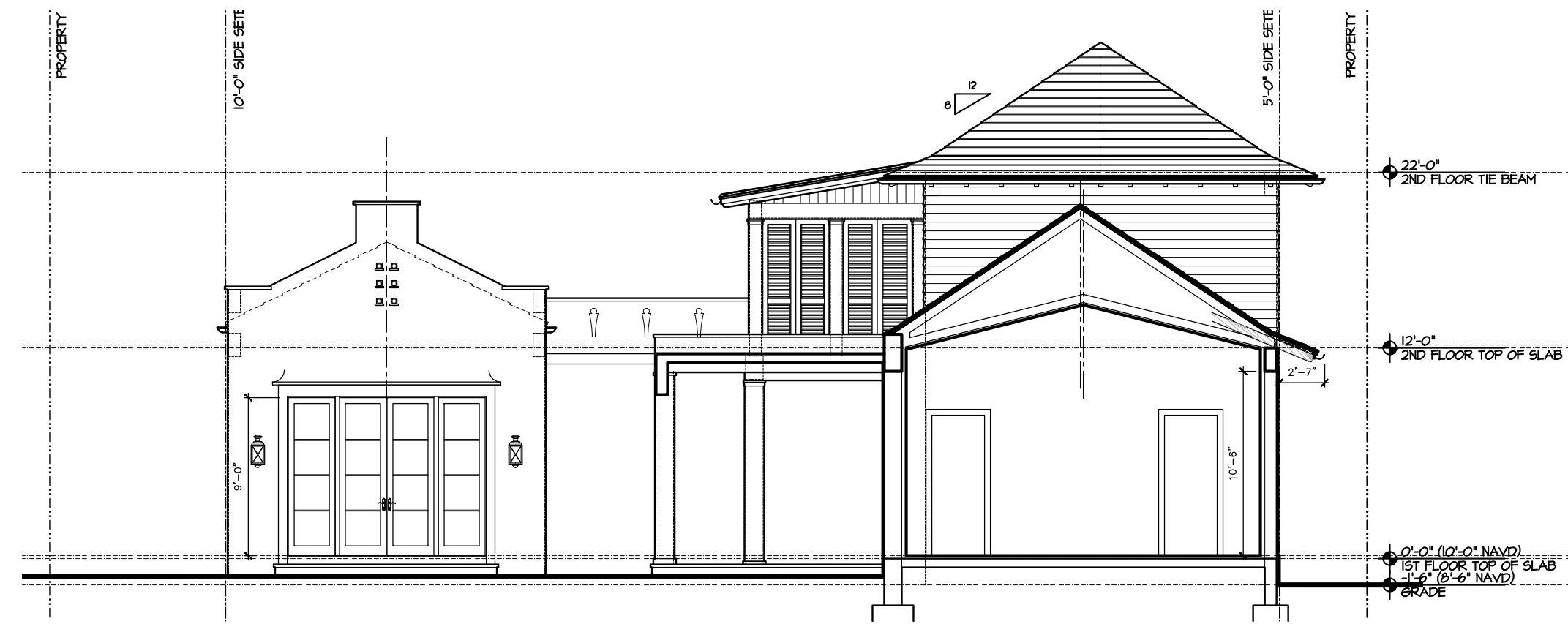


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 LICENSE #AAC001974
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SOUTH ELEVATION

SCALE 1/8" = 1'-0"



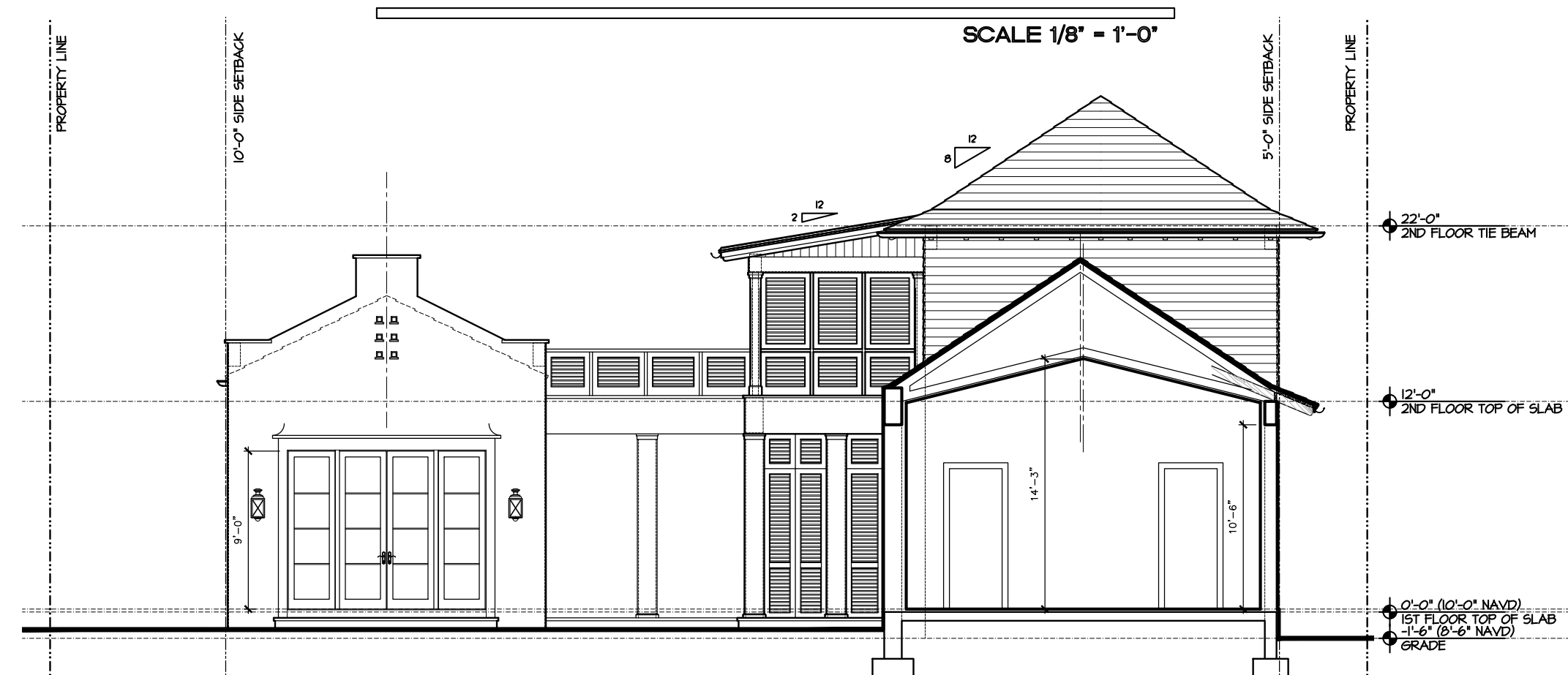
NORTH ELEVATION

SCALE 1/8" = 1'-0"



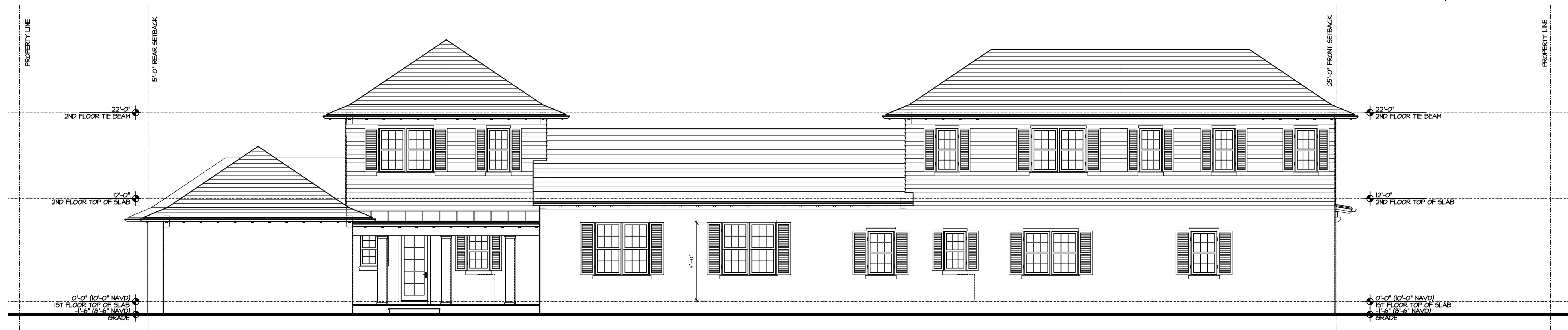
SOUTH ELEVATION/SECTION

SCALE 1/8" = 1'-0"



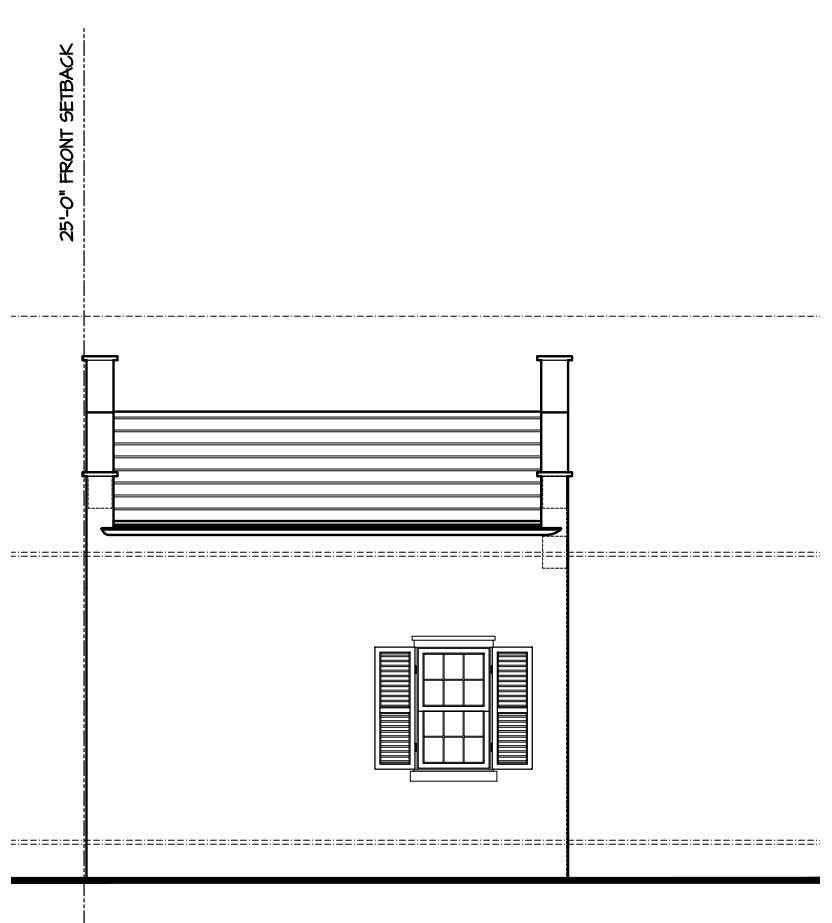
NORTH ELEVATION/SECTION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"

DJA DAILEY JANSSEN ARCHITECTS
 LICENSE #AAC001974
 400 CLEMATIS STREET, SUITE 200
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Date: 04/28/2022
 Drawn by: RB
 Revised:

Seal
 Roger P. Janssen
 AR-14785

Job No.
 21-162

Drawing No.
 A2.00